



Planning Committee

Date: 21 August 2019
Time: 6.30 pm
Venue: Council Chamber
District Council Offices, Queen Victoria Road, High Wycombe Bucks

Membership

Chairman: Councillor A Turner
Vice Chairman: Councillor N B Marshall

Councillors: Mrs J A Adey, M Asif, Ms A Baughan, S Graham, C B Harriss, A E Hill, D A Johncock, A Lee, H L McCarthy, Ms C J Oliver, S K Raja, N J B Teesdale, P R Turner and C Whitehead

Standing Deputies

Councillors H Bull, D J Carroll, G C Hall, M Hanif, M A Hashmi, A Hussain, M E Knight, Mrs W J Mallen and L Wood

Fire Alarm - In the event of the fire alarm sounding, please leave the building quickly and calmly by the nearest exit. Do not stop to collect personal belongings and do not use the lifts. Please congregate at the Assembly Point at the corner of Queen Victoria Road and the River Wye, and do not re-enter the building until told to do so by a member of staff.

Filming/Recording/Photographing at Meetings – please note that this may take place during the public part of the meeting in accordance with Standing Orders. Notices are displayed within meeting rooms.

Agenda

Item		Page
1.	Apologies for Absence To receive apologies for absence.	
2.	Minutes of the Previous Meeting To confirm the Minutes of the meeting of the Planning Committee held on 24 July 2019 (attached).	1 - 4
3.	Declarations of Interest To receive any disclosure of disclosable pecuniary interests by Members relating to items on the agenda. If any Member is uncertain as to whether an interest should be disclosed, he or she is asked if possible to contact the District Solicitor prior to the meeting.	

Members are reminded that if they are declaring an interest, they should state the nature of that interest whether or not they are required to withdraw from the meeting.

Planning Applications

- 4. **Planning Applications**
- 5. **19/06137/FUL - Askett Nurseries, Aylesbury Road, Askett, HP27 9LY** 5 - 36
- 6. **18/05741/FUL - 1 Hillary Close, High Wycombe, HP13 7RP** 37 - 61
- 7. **17/06820/FUL - Aldridge Grove, Hampden Road, Denner Hill, Buckinghamshire** 62 - 81

Other items

- 8. **Pre-Planning Committee Training / Information Session** 82
- 9. **Appointment of Members for Site Visits**
To appoint Members to undertake site visits on Tuesday 17 September 2019 should the need arise.
- 10. **Delegated Action Undertaken by Planning Enforcement Team**
- 11. **File on Actions Taken under Delegated Authority** 83 - 84
Submission of the file of actions taken under delegated powers since the previous meeting.
- 12. **Supplementary Items (if any)**
If circulated in accordance with the five clear days' notice provision.
- 13. **Urgent items (if any)**
Any urgent items of business as agreed by the Chairman.

For further information, please contact Liz Hornby (01494) 421261, committeeservices@wycombe.gov.uk

Planning Committee Mission Statement

The Planning Committee will only determine the matters before it in accordance with current legislation, appropriate development plan policies in force at the time and other material planning considerations.

Through its decisions it will:

- Promote sustainable development;
- Ensure high quality development through good and inclusive design and the efficient use of resources;
- Promote the achievement of the approved spatial plans for the area; and
- Seek to improve the quality of the environment of the District.

(As agreed by the Development Control Committee on 7 January 2009).

Mandatory Planning Training for Planning and Regulatory & Appeals Committee Members

A new Member (or Standing Deputy) to either the Planning or Regulatory & Appeals Committees is required to take part in a compulsory introductory planning training session.

These sessions are carried out at the start of each New Municipal Year usually with a number of 'new Planning & R&A Members/Standing Deputies' attending at the same time.

All Members and Standing Deputies of the Planning and Regulatory & Appeals Committee are then, during the municipal year, invited to at least two further training sessions (one of these will be compulsory and will be specified as such).

Where a new Member/Standing Deputy comes onto these committees mid-year, an individual 'one to one' introductory training session may be given.

No Member or Standing Deputy is permitted to make a decision on any planning decision before their Committee until their introductory training session has been completed.

Members or Standing Deputies on the Committees not attending the specified compulsory session will be immediately disqualified from making any planning decisions whilst sitting on the Committees.

This compulsory training session is usually held on two occasions in quick succession so that as many members can attend as possible.

Please note the pre planning committee training / information session held on the evening of Planning Committee do NOT constitute any qualification towards decision making status.

Though of course these sessions are much recommended to all Planning Members in respect of keeping abreast of Planning matters.

Note this summary is compiled consulting the following documents:

- Members Planning Code of Good Practice in the Council Constitution;
- The Member Training Notes in Planning Protocol as resolved by Planning Committee 28/8/13; and
- Changes to the Constitution as recommended by Regulatory & Appeals Committee.

Planning Committee Minutes

Date: 24 July 2019

Time: 7.02 - 8.07 pm

PRESENT: Councillor A Turner (in the Chair)

Councillors M Asif, Ms A Baughan, S Graham, A E Hill, D A Johncock, A Lee, N B Marshall, H L McCarthy, S K Raja and C Whitehead.

Standing Deputies present: Councillors G C Hall.

Apologies for absence were received from Councillors: Mrs J A Adey, C B Harriss, Ms C J Oliver, N J B Teesdale and P R Turner.

LOCAL MEMBERS IN ATTENDANCE

Councillor A Collingwood

Councillor M Hussain

OBSERVING

Mrs P Tollitt, Head of Planning and Sustainability

APPLICATION

19/05968/FUL

18/08206/FUL

28 MINUTES OF THE PREVIOUS MEETING

RESOLVED: That the minutes of the Planning Committee meeting held on 26 June 2019 be approved as a true record and signed by the Chairman subject to noting that Councillor Mrs Oliver had submitted her apologies and that they be duly recorded.

29 DECLARATIONS OF INTEREST

There were no declarations of interest.

30 PLANNING APPLICATIONS

RESOLVED: that the reports be received and the recommendations contained in the reports, as amended by the update sheet where appropriate, be adopted, subject to any deletions, updates or alterations set out in the minutes below.

31 18/08206/FUL - 21 TO 25 COATES LANE, HIGH WYCOMBE, BUCKINGHAMSHIRE, HP13 5EY

Members voted in favour of the motion that they were minded to grant permission.

RESOLVED: that the Head of Planning and Sustainability be given delegated authority to grant Conditional Permission provided that a Planning

Obligation was made to secure Management and Maintenance of the TPO Tree Belt or to refuse planning permission if an Obligation could not be secured.

The Committee was addressed by Councillor Maz Hussain, the local Ward Member.

32 19/05968/FUL - 178 WEST STREET, MARLOW, BUCKINGHAMSHIRE, SL7 2BU

Members voted in favour of the motion to approve the application.

RESOLVED: that the application be approved.

The Committee was addressed by Councillor Collingwood, the local Ward Member.

33 18/05323/R9FUL - WEST SITE FORMER COMPAIR WORKS, BELLFIELD ROAD, HIGH WYCOMBE, BUCKINGHAMSHIRE

Members voted in favour of the motion to approve the application.

RESOLVED: that the application be approved.

34 PRE-PLANNING COMMITTEE TRAINING / INFORMATION SESSION

Members noted that no presentations had been booked for the pre-committee training session on Wednesday 21 August 2019. Unless a developer came forward in the meantime, it was agreed that the next Planning Committee meeting would start at 6.30pm.

35 APPOINTMENT OF MEMBERS FOR SITE VISITS

RESOLVED: That in the event that it was necessary to arrange site visits on Tuesday 20 August 2019 in respect of the agenda for the meeting on Wednesday 21 August 2019, the following Members be invited to attend with the relevant local Members:

Councillors: Ms A Baughan, S Graham, D A Johncock, T Lee, H L McCarthy, A Turner and C Whitehead.

36 DELEGATED ACTION UNDERTAKEN BY PLANNING ENFORCEMENT TEAM

Noted.

37 FILE ON ACTIONS TAKEN UNDER DELEGATED AUTHORITY

The file on actions taken under delegated authority since the previous meeting was circulated for the Committee's attention.

Chairman

The following officers were in attendance at the meeting:

Mrs J Caprio	Principal Planning Lawyer
Mr R Harrison	Principal Development Management Officer
Mrs L Hornby	Senior Democratic Services Officer
Mr P Miller	Technical Officer
Mr A Nicholson	Development Manager
Ms S Penney	Principal Development Management Officer

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Agenda Item 5.

Contact: Heather Smith DDI No. 01494 421913

App No : 19/06137/FUL App Type: Full Application

Application for : Erection of 1 x 5-bed detached dwelling with study room, 1 pair of 2-x 3-bed semi-detached dwellings with integral car ports & 1 pair of semi-detached dwellings comprising 1 x 4-bed & 1 x 3-bed dwellings (5 in total) with associated access, parking and landscaping following the demolition of all existing buildings

At Askett Nurseries, Aylesbury Road, Askett, Buckinghamshire, HP27 9LY

Date Received : 15/05/19 Applicant : Askett Nurseries - Jansons West
London And Thames Valley

Target date for Decision 10/07/19

1. Summary

- 1.1. Full planning permission is sought for the erection of a detached dwelling, two pairs of semi-detached dwellings (5 in total), with associated access, parking and landscaping following the demolition of all existing buildings, at Askett Nurseries, Aylesbury Road, Askett.
- 1.2. The proposed dwellings are to be sited on the portion of the application site considered to be pre-developed land. This is considered to be appropriate development within the Green Belt. In addition the proposed development will result in a net gain in terms of open land within the Green Belt and will have no adverse effect upon its open character.
- 1.3. The design and layout of the proposed development will preserve the scenic beauty of the surrounding Chilterns Area of Outstanding Natural Beauty, the visual amenity of the street scene and will have no adverse effect upon the setting of an adjacent Grade II listed building.
- 1.4. The proposed development is sited in a sustainable location and will have no adverse effect upon highway or pedestrian safety.
- 1.5. The proposed development will have no adverse effect upon the ecological interests of the application site.
- 1.6. Details have been submitted with this application to demonstrate that surface water drainage measures can be implemented across the site.
- 1.7. This proposal accords with the policies of the Development Plan and is recommended for approval.

2. The Application

- 2.1. Askett Nurseries is an existing garden centre and nursery enterprise, approximately 0.47 hectares in size, situated on the south eastern side of Aylesbury Road, Askett
- 2.2. The surrounding area forms part of the Green Belt and Chilterns Area of Outstanding Natural Beauty. The landscape is predominantly rural in character, rising gently upwards to the north east. Open fields are sited on both sides of the Aylesbury Road
- 2.3. The application site, itself, comprises a number of buildings and structures, including a garden centre sales building, cafeteria, wooden structures, polytunnels and a pergola.

To the west, the site is bounded by trees and hedgerows, adjacent to the Aylesbury Road, with open, arable farmland to the north and east. To the south lie residential properties, in Grange View.

- 2.4. It is proposed to demolish all the existing garden centre/nursery buildings and erect 5 residential properties, in a farmyard formation. The submitted plans show that the proposed properties would be clustered together in the south eastern section of the site, in a similar location as the existing garden centre/nursery structures. Two separate pairs of semi-detached properties are proposed, incorporating 3 x 3 bed and 1 x 4 bed dwellings. A larger 5 bed dwelling will be erected on plot 1.
- 2.5. Vehicular access to the site will be via the existing entrance off Aylesbury Road, leading to a central manoeuvring/turning area. Off street car parking is shown to be provided adjacent to each individual unit with further spaces for visitors along the proposed entrance driveway. A total of 16 spaces.
- 2.6. The scheme has been designed to reflect a farmyard. The small semi-detached properties (plots 2-5) give the general appearance of converted barns, surrounding a larger farmhouse on plot 1.
- 2.7. To the north of the proposed properties, two areas of land would remain open in order to provide a) a wildlife/habitat enhancement area for biodiversity and b) a dry pond as part of the surface water drainage scheme. Two parcels of land to the north and east (outlined in blue) have been excluded from the application site and will return to agricultural use.
- 2.8. The application is accompanied by:
 - a) Planning Statement
 - b) Design and Access Statement
 - c) Cover letter
 - d) Ecological Appraisal
 - e) Flood Risk and Drainage Strategy
 - f) Heritage Asset Report
 - g) Landscape and Visual Impact Assessment
 - h) Utilities Statement
 - i) Landscape Strategy Plan
 - j) Arboricultural Impact Assessment
 - k) Noise assessment
 - l) Contaminated Land Risk Assessment
 - m) Transport Statement
 - n) CIL Form

3. Working with the applicant/agent

- 3.1. In accordance with paragraph 38 of the NPPF2 Wycombe District Council (WDC) approach decision-taking in a positive and creative way taking a proactive approach to development proposals focused on solutions and work proactively with applicants to secure developments.
- 3.2. WDC work with the applicants/agents in a positive and proactive manner by offering a pre-application advice service, and as appropriate updating applications/agents of any issues that may arise in the processing of their application.
- 3.3. In this instance was provided with pre-application advice. The application was acceptable as submitted and no further assistance was required. The application was considered by the Planning Committee where the applicant/agent had the opportunity to speak to the committee and promote the application.

4. Relevant Planning History

- 4.1. 96/05231/FUL: Erection of glasshouse. Permitted 12.03.96.
- 4.2. 97/07094/FUL: Retention of existing shade tunnel. Permitted 08.12.97
- 4.3. 09/5580/FUL: Erection of pergola extension to existing pergola. Permitted 31.03.09
- 4.4. 09/05599/CLE: Continued mixed use as garden centre and horticulture and the erection of 4 polytunnels, 6 concrete planters, 12 planters, shade structure, wooden building and arch, wooden pergola and toilet. Granted Certificate of Lawfulness 28.05.09
- 4.5. 12/06109/FUL: Construction of 2 x detached single storey buildings for tea shop and toilet facilities. Permitted 09.07.12
- 4.6. 12/07763/FUL: Construction of 2 x detached single storey buildings for tea shop and toilet facilities (alternative scheme to 12/06109/FUL). Permitted 15.02.13

5. Issues and Policy considerations

Principle and Location of Development

DSA: DM1 (Presumption in favour of sustainable development), DM6 (Mixed-use development)
New Local Plan: CP1 (Sustainable Development), CP3 (Settlement Strategy), CP4 (Delivering Homes), DM33 (Managing Carbon Emissions, Transport and Energy Generation) DM42 (Development in the Green Belt).

- 5.1. The application site lies within the Green Belt, where there is a presumption against inappropriate development. Paragraph 143 of the National Planning Policy Framework states that **“inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances”**.
- 5.2. Paragraph 145 of the NPPF lists those forms of development considered to be appropriate in the Green Belt. Paragraph 145(g) specifically identifies the following as appropriate development in the Green Belt:
“limited infilling or the partial or complete redevelopment of previously developed land, whether redundant or in continuing use (excluding temporary buildings) which would:
 - Not have a greater impact on the openness of the Green Belt than the existing development; or
 - Not cause substantial harm to the openness of the Green Belt, where the development would re-use previously developed land and contribute to meeting an identified affordable housing need within the area of the local planning authority”.
- 5.3. The NPPF defines pre-developed land as **“land which is or was occupied by a permanent structure, including the curtilage of the developed land (although it is not assumed that the whole of the curtilage should be developed) and any associated fixed surface infrastructure. This excludes: land that is or was last occupied by agricultural or forestry buildings...”**
- 5.4. In this instance, Askett Nurseries comprises a mixed use of a garden centre and horticultural activity. It is considered that the structures/activities relating to the garden centre can be considered to be pre-developed land. However, the horticultural activities, including the polytunnels, would fall within the definition of agriculture and their redevelopment as residential would not be appropriate development in the Green Belt.

- 5.5. The submitted plans show that the portion of the site to be redeveloped for housing reflects the area where the existing garden centre structures are located. In this respect, this proposal comprises the redevelopment of pre-developed land and is therefore acceptable, in principle.
- 5.6. The impact of this proposal on the openness of the Green Belt will be discussed below.

Affordable Housing and Housing Mix

New Local Plan: DM22 (Housing Mix), DM24 (Affordable Housing), DM41 (Optional Technical Standards for Building Regulations Approval)
Planning Obligations Supplementary Planning Document (POSPD)

- 5.7. Policy DM24 of the New Local Plan requires that the affordable threshold for new dwellings within the Chilterns AONB remains at 6 units. This application proposes to erect 5 dwellings on land within the AONB.
- 5.8. In light of the above, it is considered to fall below the Council's threshold for affordable housing.

Employment issues

CSDPD: CS11 (Land for business)

DSA: DM5 (Scattered business sites)

New Local Plan (Submission Version): CP5 (Delivering Land for Business), DM28 (Employment Areas)

- 5.9. The existing use of the application site generates a small level of employment within the local community. The use of the site as a nursery with ancillary offerings is akin to a retail offering rather than a business use.
- 5.10. The application site is not situated within an identified employment area, a business park or a scattered business site. Its primary function is for the sale of garden plants, equipment and associated items. A small, popular café exists as an ancillary activity to the garden centre. The requirement to market the site for a business use under policy DM5 is not therefore triggered.
- 5.11. Although, the loss of any employment activity is regrettable, this loss must be weighed against the need for rural housing within the Parish. The application site provides a good opportunity for rural housing to be provided, on previously developed land, without undue impact on the Green Belt.
- 5.12. Furthermore, the construction of five new dwellings, with associated on-site infrastructure will provide construction employment opportunities itself, together with an increased demand for local services. As such, this proposal will help boost the local economy.

Transport matters and parking

DSA: DM2 (Transport requirements of development sites)

New Local Plan (Submission Version): CP7 (Delivering the infrastructure to support growth), DM33 (Managing Carbon Emissions, Transport and Energy Generation)

- 5.13. The submitted plans show that the existing vehicular access to Askett Nurseries will be retained to serve the proposed housing development.
- 5.14. When assessing the level of vehicle movements at this point of access, the County Highways Authority has noted the Transport Statement, submitted by the applicant, but has also conducted a TRICS analysis of their own. The results of this analysis show that the level of vehicle movements to and from the site would decrease with the

housing development. However, the level of pedestrian movements to and from the site would increase.

- 5.15. Walking distances between the site and the local services in Monks Risborough and Princes Risborough are too far to expect most people to walk. For example the Monks Risborough Church of England Primary School, which is the nearest community facility to the site, is 1.1km away. The footpaths are narrow and run parallel to a rural, unlit, district distributor road, with a 40mph speed limit.
- 5.16. However, a bus stop for the No.33 bus is sited only 200m from the entrance to Askett Nurseries, on the opposite side of Aylesbury Road. A further bus stop is sited approximately 380m, south west of the application site, on the south-western side of Askett Village Lane/Cadsden Lane/Aylesbury Road junction.
- 5.17. Given the position of the bus stops and the frequency of the service, the application site can be considered to be in a sustainable position. Furthermore, the No.300 bus service is more likely to be used by residents of the proposed dwellings than visitors to the nursery.
- 5.18. With regard to the vehicular access, the County Highway Authority consider that the alterations proposed will allow comfortable simultaneous flow in and out of the site. This will also reduce the waiting times that cars would be stationary on the A4010 as they wait to turn right into the site.
- 5.19. With regard to off street car parking, in accordance with the Buckinghamshire Countywide Parking Guidance, a total of 16 off street car parking spaces are required for the proposed development. The submitted plans do show that 16 spaces are to be provided.
- 5.20. Some of the spaces however fall below the minimum size standard. It is likely that this discrepancy is due to the scale of the plans as there is ample space on site to provide the required number of spaces, at the standard size. In addition, the submitted plans do not make it clear, which spaces are to be allocated to each dwelling and which are to be for visitors parking.
- 5.21. Therefore, a pre-commencement planning condition should be imposed on any permission requiring a parking plan to be submitted, showing spaces of the correct size and how they are to be allocated. In addition due to the location of the application site, on the A4101, the County Highways Authority have also requested that a Construction Traffic Management Plan be submitted to the Local planning Authority, before development commences.

The impact of this proposal on the Green Belt

New Local Plan: DM42

- 5.22. As discussed above, the part of the application site which contains the garden centre structures is considered to be previously developed land (PDL). In accordance with the advice contained in the NPPF, the partial or complete redevelopment of PDL is appropriate within the Green Belt.
- 5.23. The submitted plans show that the proposed dwellings have been grouped into the section of the site where the existing buildings are situated. Therefore, this proposal will not result in a greater spread of development, into the open Green Belt, than exists at present.
- 5.24. In terms of gross footprint, the submitted details show that the existing garden centre structures measure approximately 516.54 sq. metres of ground cover, whereas the proposed dwellings would measure 418.55 sqm metres. On this basis, the proposed

development would appear to have a lesser “footprint” impact on the openness of the Green Belt than the existing structures.

- 5.25. The proposed dwellings would however be greater in height than the existing structures. Therefore, it is necessary to compare the structures in terms of volume, in order to properly assess the impact on the openness of the Green Belt.
- 5.26. A detailed comparison has been submitted which shows that the existing structures have a gross volume of 2657 cubic metres, whereas the proposed dwellings have a lesser gross volume of 2218 cubic metres. Furthermore, the existing areas of hard landscaping amount to approximately 1284 sq. metres in size, compared to the proposed areas of only 1156 sq. metres.
- 5.27. Although the new dwellings will be greater in height than the existing structures, the submitted details show that the proposed development will be smaller in terms of footprint, volume and hard landscaping.
- 5.28. The submitted plans also show that two areas to the north of the proposed properties would be returned to open land. These areas are currently in use for parking and storage, associated with the garden centre.
- 5.29. Overall, it is considered that this proposal will have no adverse effect upon the open character and function of the Green Belt. However, it is considered necessary to remove permitted development rights from each property in order that the impact of any future additions can be properly assessed. A planning condition should be imposed to this effect.

Raising the quality of place making and design, including the impact on the Chilterns Area of Outstanding Natural Beauty.

DSA: DM11 (Green networks and infrastructure), DM16 (Open space in new development)
Housing intensification SPD

New Local Plan: CP9 (Sense of place), DM30 (The Chilterns Area of Outstanding Natural Beauty), DM34 (Delivering Green Infrastructure and Biodiversity in Development), DM35 (Placemaking and Design Quality)

Wycombe District Council Residential Design Guidance (Adopted June 2017)

- 5.30. The Council seeks to secure improvements in the quality of place-shaping and design, to ensure that **“all new residential development is designed well, contributes positively to the area and is great to live in for years to come”** Wycombe District Council Residential Design Guidance (Adopted June 2017).
- 5.31. Development proposals are therefore expected to achieve a high standard of design and layout that respects and reflects the local context so as to maintain and reinforce its distinctiveness and particular character. This approach is also in line with the Housing Intensification Supplementary Planning Document (HISPD).
- 5.32. The application site is situated in a sensitive position within the Chilterns Area of Outstanding Natural Beauty and is located within the Risborough Chalk Foothills Landscape Character Area. A common feature of this location are the strong series of boundary treatments and open views across the landscape.
- 5.33. It is important that any new development within this area is sympathetic to and enhances the landscape character of the AONB. In view of this sensitive location, the applicant has submitted a Landscape Visual Impact Assessment and a Landscape Strategy Plan in support of their proposals.
- 5.34. The Chilterns Conservation Board have commented that the AONB Management Plan is also a material consideration and that development should accord with the advice

contained in the Chilterns Buildings Design Guide. The Board recognises that the proposed development would be built on pre-developed land and that an opportunity exists to return some areas of land back to open landscape.

- 5.35. Concern has however been raised that the design of the proposed development is not entirely that of a traditional farmyard, but more of a hybrid. Furthermore, the larger dwelling on Plot 1 is less harmonious with a farmyard vernacular. They would wish to see the dwelling on Plot 1 removed from the proposal.
- 5.36. It is accepted that the proposed design does include modern elements, including larger, steeply pitched roofs and small dormer windows. However, the Chilterns Buildings Design Guide does not preclude contemporary design features in new developments. The overriding concern is that any new development preserves and enhances the scenic beauty of the AONB.
- 5.37. In this instance it is considered that the proposed development does reflect the appearance of a traditional farmyard setting, including a larger farm house with adjacent barn structures formed around an enclosed courtyard. Each property has a simplistic appearance, with uncomplicated double pitched roofs and open rafters.
- 5.38. Although, dormer features have been included, these are small scale features which blend into the proposed roof formation rather than dominate it. The larger dwelling on Plot 1 is taller than the adjacent properties on Plots 2-5, which helps create the image of a central farm house, surrounded by barn like structures.
- 5.39. The applicant has submitted indicative materials with this application which suggest that the structures would be brick built, with dark grey weatherboarding and a slate coloured tiled roofs. Grey Upvc windows have also been proposed. However, given the prominent position the application site hold within the Chilterns AONB, full details of all external materials, including hardsurfacing should be submitted to and approved by the Local Planning Authority before works to the external features are commenced. A planning condition should be imposed to this effect.
- 5.40. Similarly, the submitted plans indicate the position of fences and an acoustic wall, but full details have not been provided at this stage. It is important that these features reflect the rural character and the strong boundary features of the surrounding area. Therefore, a condition should be imposed requiring the details of all boundary treatment to be submitted to and approved in writing prior to their construction.
- 5.41. Concern has also been expressed regarding the two areas, outlined in blue, on the submitted plans. These areas are to be retained by the applicant and returned to agricultural use. As part of a detailed landscape plan, the future maintenance of these areas should be stated. A planning condition should be imposed to this effect.
- 5.42. Overall, it is considered that the proposed development has been carefully planned to mitigate detriment within the immediate landscape and the Chilterns AONB. It is considered that this proposal will have no adverse effect upon the scenic beauty of the surrounding AONB or the rural character of the area in general.

Amenity of existing and future residents

Housing intensification SPD

New Local Plan: DM33 (Managing carbon emissions: transport and energy generation), DM35 (Placemaking and Design Quality), DM40 (Internal space standards).

- 5.43. The proposed dwellings will provide a good standard of accommodation for future residents and sufficient private amenity space will be provided for each property.

- 5.44. The applicant has submitted a noise assessment report in support of this application, which recommends that sound insulation should be provided through glazing and the erection of an acoustic barrier, in order to protect the new residents from road noise. The Council's Environmental Health Officer agrees with this approach.
- 5.45. The Environmental Health Officer has requested that 15 electric car charging points be installed within the development, in order to help reduce air pollution. Emerging Policy DM33 requires developers to make provision for alternative vehicle types and fuels and to integrate renewable technologies into development. Therefore, while it is not appropriate to dictate the number of charging points, the development should make passive provision in the form of suitable electrical wiring for each unit to allow for electrical charging of vehicles. This can be controlled by condition.
- 5.46. With regard to the amenity of neighbouring residents, this proposal will have no adverse effect by way of loss of light, privacy or outlook. A number of residents who live in the adjacent properties at Grange View have written in support of this proposal.

Environmental issues

New Local Plan (Submission Version): CP7 (Delivering the infrastructure to support growth), DM20 (Matters to be determined in accordance with the NPPF)

- 5.47. Given the previous uses on the application site, the applicant has submitted a Contaminated Land Risk Assessment. The assessment recommends that there are potentially significant pollutant linkages on the application site. Therefore, the report recommends that an intrusive site investigation is undertaken with the objective of determining the presence and extent of any soil contamination.
- 5.48. The Environment Agency has not raised a concern regarding contaminated land. However, the Council's Environmental Health Officer has requested a planning condition be imposed requiring that mitigation measures be submitted if contaminated land is found.
- 5.49. In terms of light pollution, it is not considered that the proposed structures will emit an excessive amount of light, externally. However, in order to reduce the level of unnecessary light spill, a planning condition should be imposed preventing the lights from shining upwards and out into the surrounding landscape.
- 5.50. With regard to trees, there are a small number of ornamental and semi mature trees situated within the site. The applicant has submitted an arboricultural assessment which identifies those trees which are shown to be retained and those which are due to be felled. Details have also been provided showing tree protection measures around those to be retained.
- 5.51. All the existing trees on site are however category C trees only. They only make a contribution to the visual amenity of the garden centre and not to the amenity of the wider area. Therefore, there is no objection to their loss. Any new tree to be planted should be part of a comprehensive landscaping plan which helps enhance the setting of the new development. A planning condition requiring a landscape plan, including the planting of new tree should be imposed.

Flooding and drainage

DSA: DM17 (Planning for flood risk management)

New Local Plan (Submission Version): DM39 (Managing Flood Risk and Sustainable Drainage Systems)

- 5.52. The application site is not situated within a flood risk zone 2 or 3.

- 5.53. The applicant has submitted a surface water drainage scheme with this application. The County Suds team have confirmed that the proposed scheme is acceptable, in principle. However, a full and detailed surface water drainage scheme is required. A planning condition should be imposed to this effect.

Ecology

DSA: DM13 (Conservation and enhancement of sites, habitats and species of biodiversity and geodiversity importance), DM14 (Biodiversity in development)
New Local Plan (Submission Version): DM34 (Delivering Green Infrastructure and Biodiversity in Development)

- 5.54. The application site is considered to be of limited ecological value, which is confirmed by the applicant's submitted Ecological Appraisal.
- 5.55. The Council's Ecologist has reviewed these proposals and is in agreement with the applicant regarding the ecological value of the site. However, the ecological enhancement measures suggested in the submitted report are not considered to be definitive. Therefore, the applicant should submit a detailed ecological mitigation and enhancement strategy prior to the construction phase of the development.
- 5.56. A planning condition should be imposed to this effect.

Community facilities

BCSNP: Policy 11 (Community Facilities)
Community facilities SPD
New Local Plan (Submission Version): DM29 (Community Facilities)

- 5.57. A number of objections have been received regarding the loss of the Potting Shed Café, on the grounds that it provides a popular community facility.
- 5.58. Despite the fact that the café is a popular destination for a number of local people, it does not fall within the policy definition of a community facility. It is a retail activity which is an ancillary part of the existing garden centre.
- 5.59. Given that there is no policy objection to the loss of the garden centre activity, there can be no policy objection to the loss of the café.

Historic environment

New Local Plan: CP9 (Sense of place), CP11 (Historic Environment), DM20 (Matters to be determined in accordance with the NPPF), DM31 (Development Affecting the Historic Environment)

- 5.60. The application site lies outside the boundary with the Askett Conservation Area but does lie within 25 metres of a Grade II listed building at Grange Cottage, on the opposite side of Aylesbury Road.
- 5.61. The Council's Conservation Officer has reviewed these proposals and considers that, subject to the submission of appropriate materials, this proposal will have no adverse effect upon the setting of the nearby listed building.

Building sustainability

DSA: DM18 (Carbon reduction and water efficiency)
New Local Plan: DM41 (Optional Technical Standards for Building Regulations Approval)

- 5.62. Following the Adoption of the Delivery and Site Allocations Plan (July 2013) and in particular policy DM18 (Carbon Reduction and Water Efficiency) it would have previously been necessary to impose a condition to secure the required 15% reduction in carbon emissions as well as reducing future demand for water associated with the

proposed dwelling. However, this was superseded in October 2016 by ministerial policy to transfer the issue to Building Regulations. It is only considered necessary to condition water efficiency.

Weighing and balancing of issues – overall assessment

- 5.63. This section brings together the assessment that has so far been set out in order to weigh and balance relevant planning considerations in order to reach a conclusion on the application.
- 5.64. In determining the planning application, section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. In addition, Section 143 of the Localism Act amends Section 70 of the Town and Country Planning Act relating to the determination of planning applications and states that in dealing with planning applications, the authority shall have regard to:
- a) Provision of the development plan insofar as they are material
 - b) Any local finance considerations, so far as they are material to the application (in this case, CIL)
 - c) Any other material considerations
- 5.65. As set out above it is considered that the proposed development would accord with the development plan policies.

Recommendation: Application Permitted
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1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (As amended).
2. The development hereby permitted shall be built in accordance with the details contained in the planning application hereby approved and plan numbers ARMS180714 LP01A; SL.01A; DBML.01A; SE.01A; Plot 1.eA; Plot1.pA; P2-3.e1A; P2-3.e2A; P2-3.pA; P4-5.e1A; P4-5.e2A; P4- 5.p1A; P-5.p2A and 31241R1/1; unless the Local Planning Authority otherwise first agrees in writing.
Reason: In the interest of proper planning and to ensure a satisfactory development of the site.
3. No other development shall take place until after all structures within the application site have been demolished and the resulting materials removed from the site.
Reason: To ensure a satisfactory form of development and in the interests of the open character and function of the Green Belt.
4. Notwithstanding any indication of materials which may have been given in the application, a schedule and/or samples of the materials and finishes for the development shall be submitted to and approved in writing by the Local Planning Authority before any work to the external finish of the development takes place. Thereafter, the development shall not be carried out other than in accordance with the approved details.
Reason: To secure a satisfactory external appearance.
5. Notwithstanding any indication of materials which may have been given in the application, a schedule and/or samples of all surfacing materials shall be submitted to and approved in writing by the Local Planning Authority before any work to the finished surfaces of the development takes place. Thereafter, the development shall not be carried out other than in accordance with the approved details.

Reason: To secure a satisfactory appearance.

6. Unless otherwise first agreed in writing by the Local Planning Authority there shall be no building up or increase of the existing ground levels on the site
Reason: To ensure that the proposal is constructed at an acceptable level with regards to the surrounding area.
7. No other part of the development shall be occupied until the existing means of access has been altered in accordance with the approved drawings and constructed in accordance with Buckinghamshire county Council's guide note "Commercial Vehicular Access Within Highway Limits" 2013.
Reason: In order to minimise danger, obstruction and inconvenience to users of the highway and of the development.
8. Notwithstanding the provisions of Part 2 of the Second Schedule to the Town and Country planning (General Permitted Development) (England) Order 2015 (or any Order revoking or re-enacting that Order), no gates shall be erected on the private estate road, hereby permitted, between the access point off Aylesbury Road and the central manoeuvring area.
Reason: To enable vehicles to draw clear of the highway for safety and convenience of the highway users.
9. No other part of the development shall begin until visibility splays shown on the approved drawings have been provided on both sides of the access. Thereafter, the area contained within the splays shall be kept free of any obstruction exceeding 0.6 metres in height above the nearest channel level of the carriageway.
Reason: To provide adequate intervisibility between the access and the existing public highway for the safety and convenience of users of the highway and of the access.
10. Prior to the commencement of development, (other than demolition), details of the parking, manoeuvring and loading/unloading scheme shall be submitted in writing to and approved by the Local Planning Authority. The details shall also include the allocation of parking spaces between individual units and visitors spaces. Thereafter, the approved scheme shall be laid out in accordance with the approved details prior to the occupation of the development, hereby approved, and shall be retained for the life of the development.
Reason: This is a pre-commencement condition to ensure that displaced parking does not occur, in order to minimise danger, obstruction and inconvenience to users of the adjoining highway.
11. Prior to the commencement of any works on the site a Construction Traffic Management Plan detailing the management of construction traffic, (including vehicle types, frequency of visits, expected daily time frames, use of banksman, on-site loading/unloading arrangements and parking of site operatives vehicles) shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the development shall be carried out in accordance with the approved management plan.
Reason: This is a pre-commencement condition as development cannot be allowed to take place, which in the opinion of the Highway Authority, could cause danger, obstruction and inconvenience to users of the highway and of the development.
12. A fully detailed landscaping scheme for the site shall be submitted to and approved in writing by the Local Planning Authority before any development, above damp proof course, takes place. The scheme shall include provision for:
*Details of existing trees and planting to be retained, together means of their protection during the construction phase
 - Additional planting to compensate for the loss of some of the existing trees

- Native trees to reflect the rural context of the site
- Details of the future management of the wildflower meadow; the dry pond and the two areas outlined in blue as returning to agriculture. The development shall be implemented in accordance with the approved details unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of amenity and to ensure a satisfactory standard of landscaping.

13. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding season following the occupation of the buildings or the completion of the development, whichever is the sooner. Any trees, plants or areas of turfing or seeding which, within a period of 3 years from the completion of the development, die are removed or become seriously damaged or diseased, shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority first gives written consent to any variation.

Reason: In the interests of amenity and to ensure a satisfactory standard of landscaping.

14. Details of all screen and boundary walls, fences and any other means of enclosure shall be submitted to and approved in writing by the Local Planning Authority before any development takes place. The development shall thereafter only be carried out in accordance with the approved details and the buildings hereby approved shall not be occupied until the details have been fully implemented. The screen and boundary walls, fences and any other means of enclosure which are part of the approved scheme shall thereafter be retained in accordance with the approved details unless otherwise first agreed in writing by the Local Planning Authority.

Reason: To ensure that the proposed development does not adversely affect the privacy and visual amenities at present enjoyed by the occupiers of neighbouring properties, and to ensure a satisfactory environment within the development.

15. Prior to the commencement of development (other than demolition) a scheme to mitigate against any ecological harm which could be caused by the proposals and to enhance the ecological value of the site shall be submitted to and approved in writing by the Local Planning Authority. The scheme should be in line with the recommendations in section 6 of the Ecological Appraisal, by Aspect Ecology, dated April 2019, and should be cross referenced with other documentation where appropriate. All works shall then proceed in accordance with the approved scheme with any amendments first agreed in writing by the Local Planning Authority.

Reason: To ensure that the development achieves a net gain in biodiversity.

16. No works other than demolition shall begin until a surface water drainage scheme for the site, based on sustainable drainage principles, has been submitted to and approved in writing by the Local Planning Authority. The scheme shall subsequently be implemented in accordance with the approved details before the development is completed. The scheme shall also include:

- A demonstration that water quality, ecological and amenity benefits have been considered.
- Infiltration components to be located within the areas of demonstrated viable infiltration.
- Demonstration of all information used to derive the infiltration rates. This includes clear demonstration of the water drop against time.
- Demonstration of a 1m freeboard between the base of the infiltration component and the water table through winter (November to March) groundwater monitoring.
- subject to infiltration be unviable, the applicant shall demonstrate that an alternative means of surface water disposal is practicable.
- Calculations to demonstrate that the proposed drainage system can contain up to the 1 in 30 storm event without flooding. Any onsite flooding between the 1 in 30 and the 1 in 100 plus climate change storm event shall be safely contained on site.
- Construction of all SuDS and drainage components.

- Drainage layout detailing the connectivity between dwellings and the drainage components, together with storage volumes of all SuDS components.
- Details of how and when the full drainage system will be maintained. This must also include details of who will be responsible for the maintenance.
- Details of proposed overland flood flow routes in the event of system exceedance or failure, with demonstration of flow direction.

Reason: The reason for this pre-start condition is to ensure that a sustainable drainage strategy has been agreed prior to construction in accordance with paragraph 163 of the National Planning Policy Framework to ensure that there is a satisfactory solution to managing flood risk.

17. In the event that contamination is found at any time when carrying out the approved development that was not previously identified, it must be reported in writing within 7 days to the Local Planning Authority and once the Local Planning Authority has identified the part of the site affected by the unexpected contamination, development must be halted on that part of the site. Before development recommences on the part of the site where contamination is present a scheme outlining appropriate measures to prevent the pollution of the water environment, to safeguard the health of intended site users, and to ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation and approved conclusions shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall not be implemented otherwise than in accordance with the approved remediation scheme.

Reason: To ensure that the potential contamination of this site is properly investigated and its implication for the development approved fully taken into account.

18. The development, hereby permitted, shall be designed and constructed to meet a water efficiency standard of 110 litres per head per day.

Reason: In the interests of water efficiency as required by Policy CS18 of the Adopted Core Strategy and Policy DM18 of the Adopted Delivery and Site Allocations Plan (July 2013).

19. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development)(England) Order 2015 (as amended) (or any Order revoking and re-enacting that Order), no development falling within Classes A and E of Part 1 of Schedule 2 shall be carried out without the prior, express planning permission of the Local Planning Authority.

Reason: In order that the Local Planning Authority can properly consider the effect of any future proposals on the open character and amenity of the Green Belt locality.

20. Each residential unit shall include the electrical wiring to enable a vehicle charging point to be installed in an appropriate location adjacent to that properties parking allocation.

Reason: To enable the owners to make provision of alternative vehicle types and fuels as a response to evidence regarding air quality in the local area.

INFORMATIVE(S)

- 1 In accordance with paragraph 38 of the NPPF2 Wycombe District Council (WDC) approach decision-taking in a positive and creative way taking a proactive approach to development proposals focused on solutions and work proactively with applicants to secure developments. WDC work with the applicants/agents in a positive and proactive manner by offering a pre-application advice service, and as appropriate updating applications/agents of any issues that may arise in the processing of their application.

In this instance was provided with pre-application advice. The application was acceptable as submitted and no further assistance was required

2 It is contrary to section 163 of the Highways Act 1980 for surface water from private development to drain onto the highway or discharge into the highway drainage system. The development shall therefore be so designed and constructed that surface water from the development shall not be permitted to drain onto the highway or into the highway drainage system.

3 The applicant is advised that the off-site works will need to be constructed under a Section 184 of the Highways Act legal agreement. This Small Works Agreement must be obtained from the Highway Authority before any works are carried out on any footway, carriageway, verge or other land forming part of the highway. A minimum period of 3 weeks is required to process the agreement following the receipt by the Highway Authority of a written request. Please contact Transport for Buckinghamshire at the following address for information:

Development Management
Buckinghamshire County Council
6th Floor
County Hall
Walton Street
Aylesbury
Buckinghamshire
HP20 1UY

4 It is an offence under S151 of the Highways Act 1980 for vehicles leaving the development site to carry mud onto the public highway. Facilities should therefore be provided and used on the development site for cleaning the wheels of vehicles before they leave the site.

19/06137/FUL

Consultations and Notification Responses

Ward Councillor Preliminary Comments

Councillor Clive Harriss: in view of the local concern, this application should be determined by the Planning Committee

Parish/Town Council Comments/Internal and External Consultees

Great & Little Kimble cum Marsh Parish Council

Comments: None received

County Highway Authority

Comments: No objection, subject to conditions regarding the submission of a parking layout; access; gates; visibility splays and a construction traffic management plan

Buckinghamshire County Council (Non Major SuDS)

Comments: No objection subject to the submission of a details surface water drainage scheme.

Environmental Health

Comments: No objection, subject to a condition regarding provision of electric car charging points

Control of Pollution Environmental Health

Comments: There is the possibility of land contamination from the site's use as a nursery/garden centre arising from fuel spills and use of fertilisers/pesticides.

The submitted Phase 1 Risk Assessment has reasonably concluded that there is a low/moderate risk to future site users and to groundwater. A watching brief during development is therefore recommended. No objection subject to condition regarding unexpected contamination.

Environment Agency (south-east)

Comments: No objection

Conservation Officer

Comments: Subject to appropriate materials, the proposals are acceptable in terms of their impact on the setting of the listed building to the north of the A4010.

Ecological Officer

Comments: The site only has limited ecological interest and as the Ecology Assessment includes details in section 6 which will mitigate for any potential impact and ultimately enhance the biodiversity value of the site, the proposals will be acceptable if a suitable condition is attached

RECOMMENDATION(S): The recommendations in section 6 of the report are not definitive. Therefore it is necessary for a pre start condition to be put on any permission which requires that these details are worked into a full ecological mitigation and enhancement plan.

CONDITIONS OR INFORMATIVES: A scheme to mitigate against any ecological harm which could be caused by the proposals and to enhance the ecological value of the site will be submitted to and approved in writing by the Local Planning Authority prior to the commencement of any development on the site.

The scheme should be in line with the recommendations in section 6 of the Ecological Appraisal and should be cross referenced with other documentation where appropriate. All works shall then proceed in accordance with the approved scheme with any amendments first agreed in writing be the LPA. Reason: to ensure that the development achieves a net gain in biodiversity.

Landscape Officer

Comments: Building Design, no significant concerns. Agree all materials by condition - type, colour, finish, including doors and windows. uPVC windows unlikely to be acceptable, even if coloured.

Layout Arrangement of buildings around courtyard space is satisfactory, including relationships to adjoining buildings and spaces. Clarification needed: why are some areas excluded from gardens or open space (blue-line land) - field 'fragments' enclosed by hedges are not very useable. What will they be used for? How will they be returned to agriculture? Will the hedgerows be removed in future?

Boundaries Revised proposals required. Proposed boundary details are not satisfactory. Chainlink fence is inappropriate. All external boundaries, and preferably internal ones, should be timber post-and-rail fences. The acoustic fence should be enclosed to both sides by a combination of existing hedgerow and new planting to help screen it. Native hedges should be planted alongside all external boundaries (double staggered rows). Confirm how communal space, including SuDS and wildflower meadows, will be managed (by condition if appropriate).

Cadent Gas Ltd Plant Protection Department

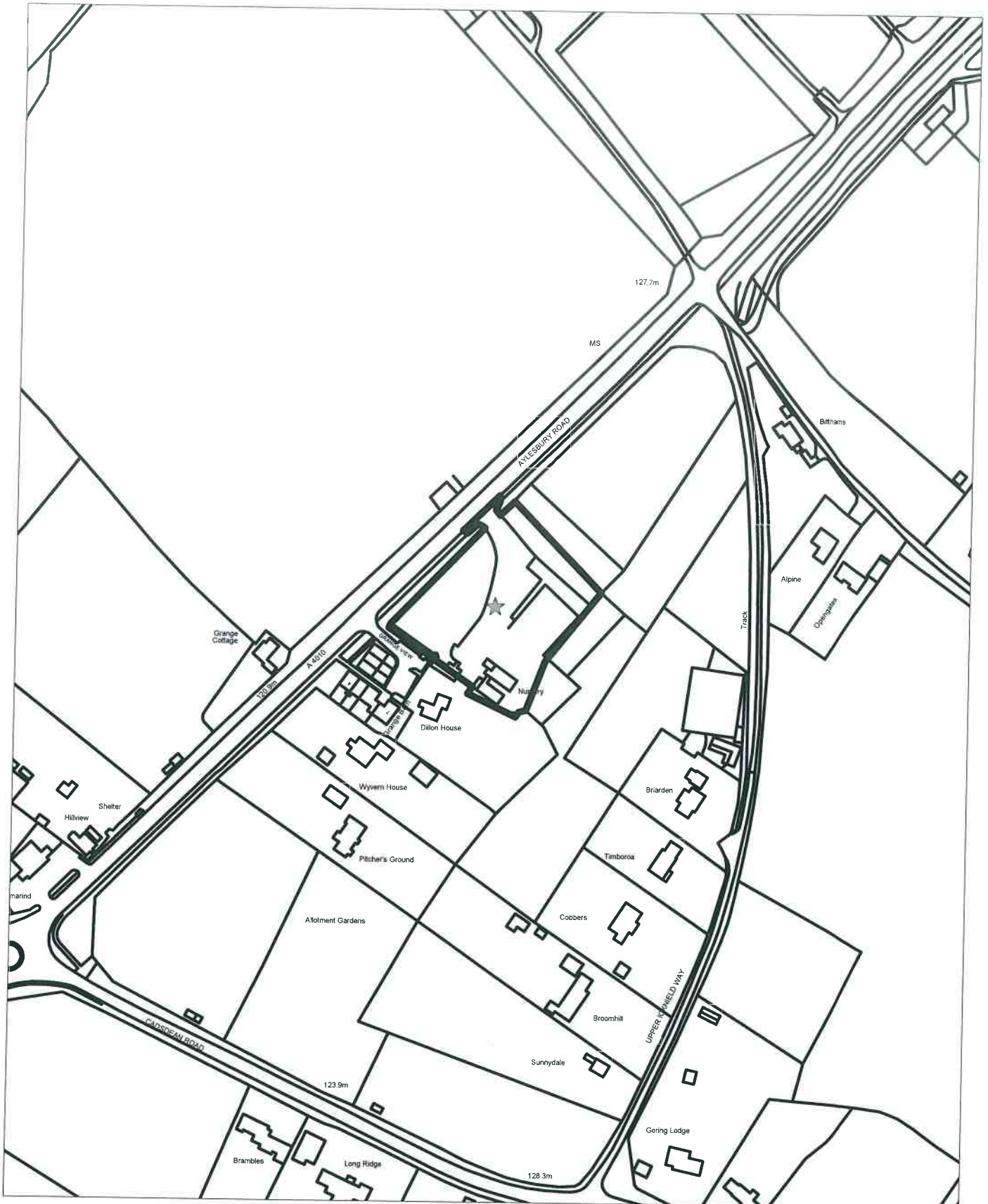
Comments: None received

Representations

Objections to this proposal have been received from members of the local community, including The Chiltern Conservation Board and County Councillor Bendyshe-Brown. The grounds of objection raised include:

- Incompatible development with heritage assets, in close proximity to SSSI
- Inappropriate development in the Green Belt and AONB
- Loss of popular Plotting Shed Café
- Loss of as community facility
- Loss of employment provision
- The application site is agricultural land not pre developed land
- Unsustainable location
- Loss of highway/pedestrian safety
- Incompatible with the Princes Risborough Town Plan and Kimble Neighbourhood Plan
- Development would set an undesirable precedent in the Green Belt
- Buildings are too high
- Lack of supporting infrastructure in the area
- Kimble has enough housing
- Development would remove the green buffer between Kimble and Askett

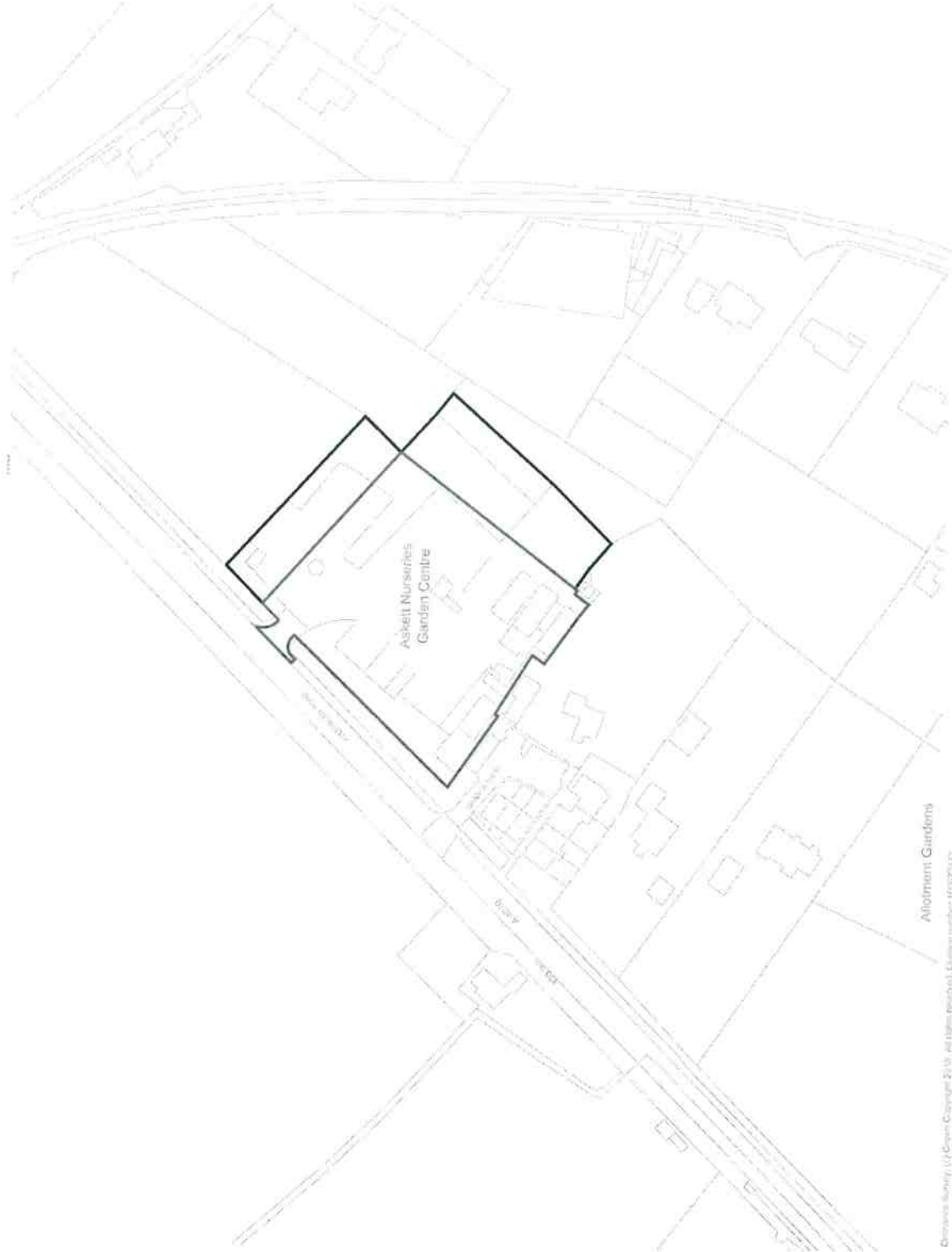
19/06137/FUL
Scale 1/2500



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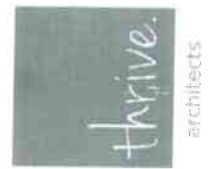
REV	DESCRIPTION	DATE	AUTH	CHK'D
A	Status updated to Planning	02/03/19	MP	



KEY:

	Application Red Line
	Land under applicants ownership

PLANNING



Building 365, The Grange, Fossey Road, Melton Mowbray, Leics, SG1 0AG
 t: 01753 367703 f: 01753 357276 www.thrivearchitects.co.uk

PROJECT
Askett Nurseries
 Askett
 For: Armstrong Rigg Planning

DRAWING
Location Plan

SCALE	DATE	AUTHOR	CHK'D
1:1250 @ A3	March 2019	MP	
JOB NO.	DRAWING NO.	REV	
ARMS180714	LP.01	A	
CLIENT REF.			

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REV	DESCRIPTION	DATE	BY	APP	CHKD
A	Issue for Review	03/05/19	MP		MP

- KEY:**
- 1.3 in Chain Link Fence - Ref Boundary Materials
 - Layout and levels for Asstkt Nurseries
 - 1.0m Boundary Wall
 - 1.8m Acoustic Fence
 - Landscaping - permeance strip
 - Gravel Pad
 - Existing Trees & Vegetation to be Retained
 - Proposed Trees & Subgrasses
 - BSCP
 - Bin Collection Point
 - Open Store / Storage shed
 - Access from reserved parking to waste land

NOTE: For Landscape/Boundary/Asstkt Nurseries Please Refer to HWS & SDI - Landscape Design
NOT: For specific location of retaining structures & steps
NOT: Please refer to engineering drawings.

PLANNING



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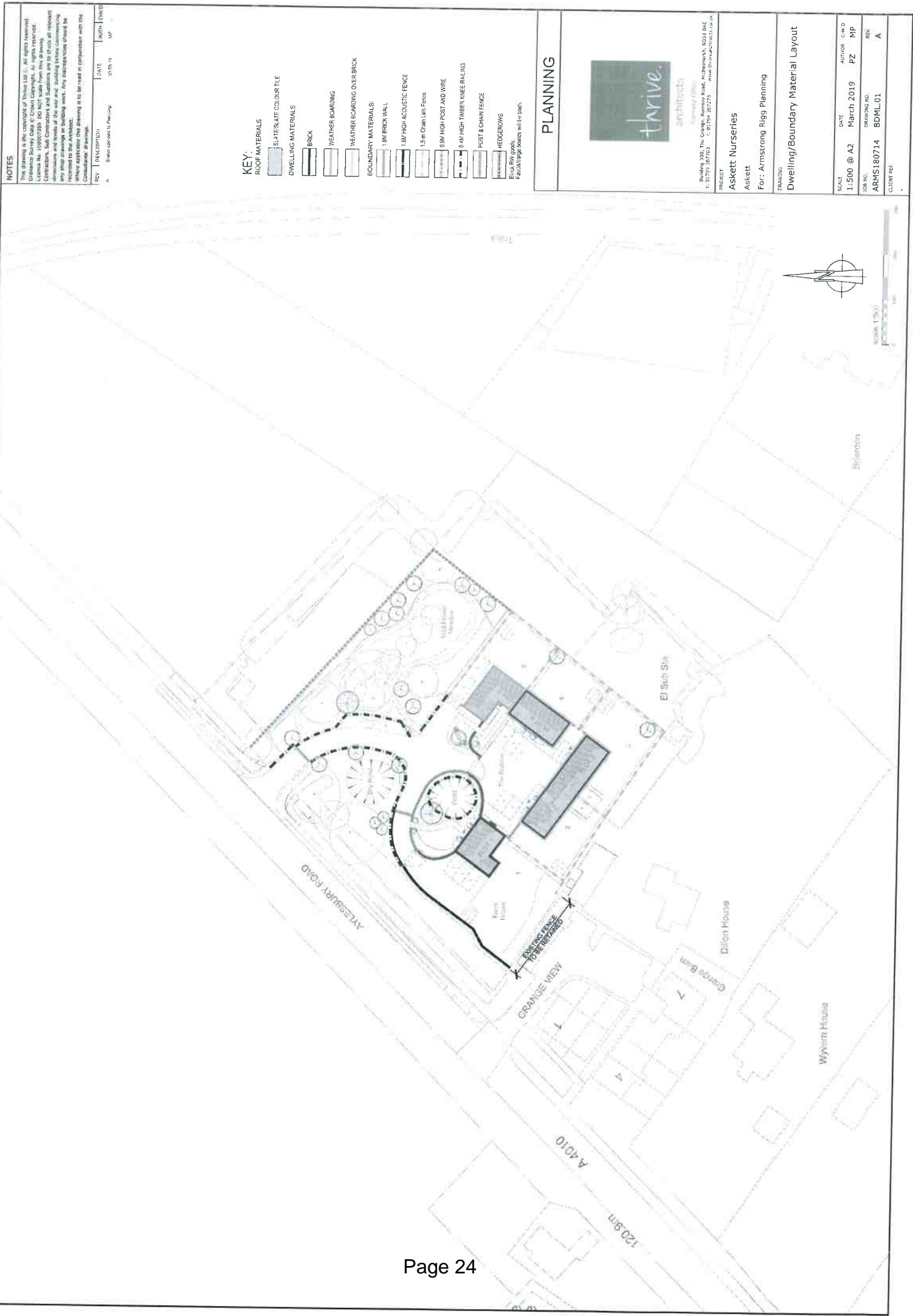
PROJECT:
 Askett Nurseries
 Askett
 For: Armstrong Rigg Planning

SUBTITLE:
 Site Layout

SCALE	DATE	AUTHOR	CHKD
1:500 @ A2	March 2019	MP	MP
JOB NO	DRAWING NO	REV	APP
ARNS180714	SL_01	A	A

Client Ref:





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REV	DESCRIPTION	DATE	AUTH	CHKD
A	Submitted for Planning	07/05/19	GP	

- KEY:**
- ROOF MATERIALS
 - SUPERSLATE COLOUR TILE
 - DWELLING MATERIALS
 - BRICK
 - WEATHER BOARDING
 - WEATHER BOARDING OVER BRICK
 - BOUNDARY MATERIALS:
 - 1.5M BRICK WALL
 - 1.5M HIGH ACOUSTIC FENCE
 - 1.5m Chain Link Fence
 - 0.9M HIGH POST AND RAIL
 - 0.4M HIGH TIMBER KNEE RAILING
 - POST & RAIL FENCE
 - HEDGEROWS
- Scale 1:500
 Boundary Materials will be black.

PLANNING

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PROJECT
 Askett Nurseries

For: Armstrong Rigg Planning

DRAWING
 Dwelling/Boundary Material Layout

SCALE
 1:500 @ A2

DATE
 March 2019

AUTHOR
 GP

CHKD
 MP

JOB NO.
 ARMS180714

DRAWING NO.
 BOML01

REV
 A

CLEAR
 REF

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REV	DESCRIPTION	DATE	BY	CHECKED
1	STATUS: Issues to Planning	03.08.19	MP	



scale 1:200

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11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

PROJECT
Askett Nurseries

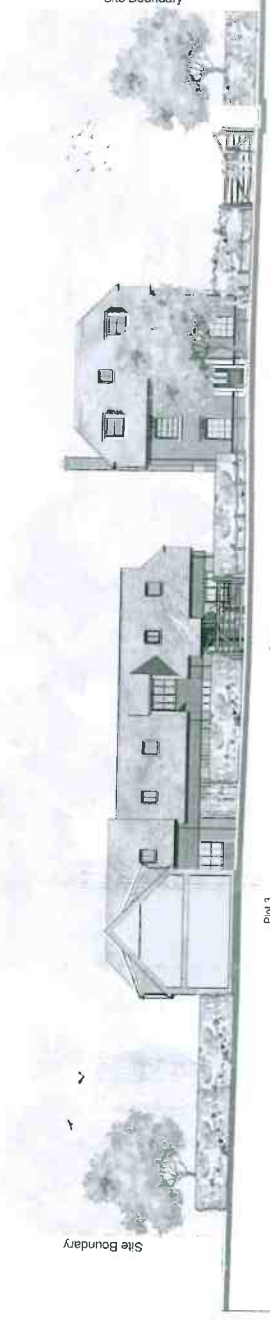
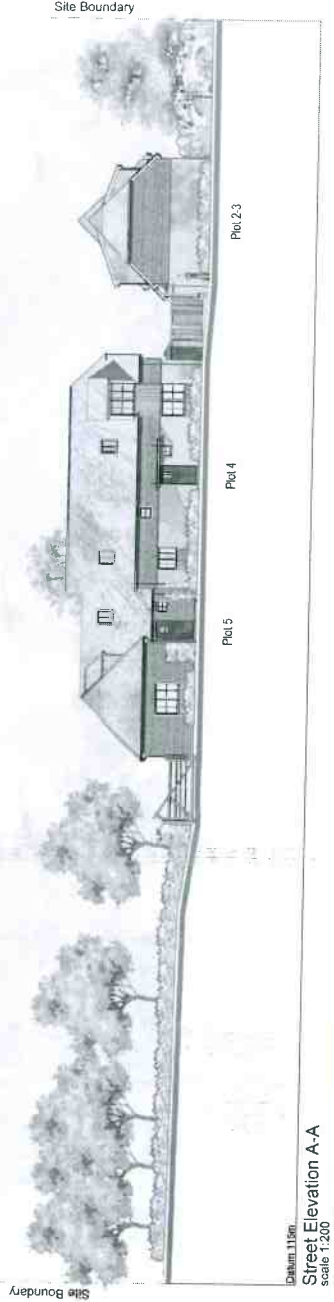
ASKETT
For: Armstrong Rigg Planning

DRAWING
Street Elevations

SCALE	DATE	AUTHOR	CHK'D
1:200 @ A2	March 2019	PZ	MP

JOB NO	DRAWING NO	REV	A
ARMS180714	SE 01		A

CLIENT REF



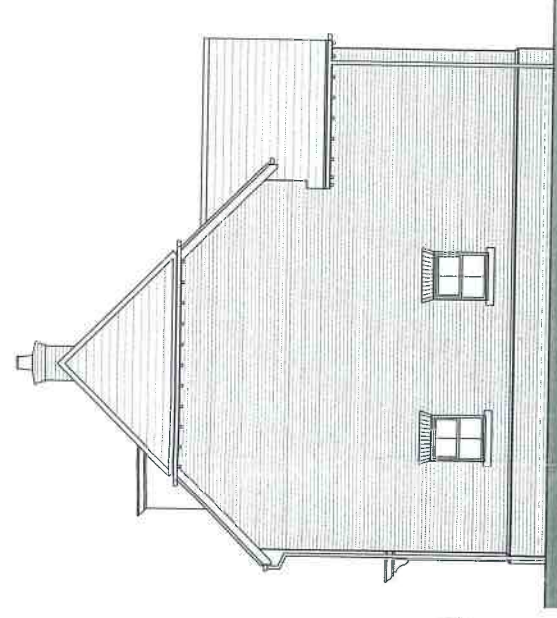
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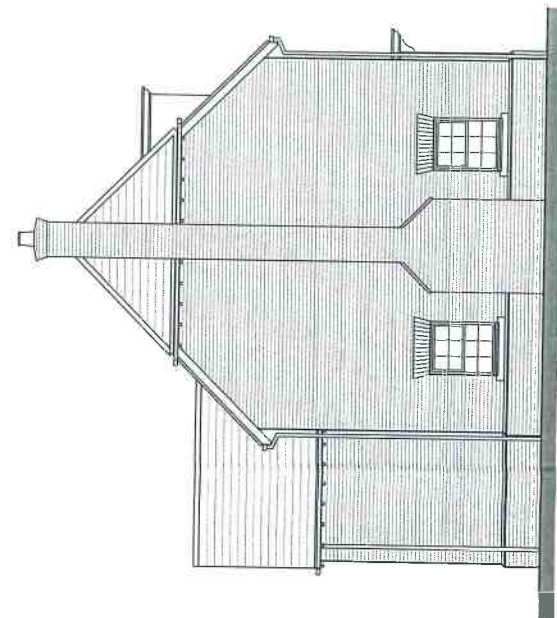
REV	DESCRIPTION	DATE	AUTH	CHKD
A	Status updated to Planning.	03.05.19	MP	



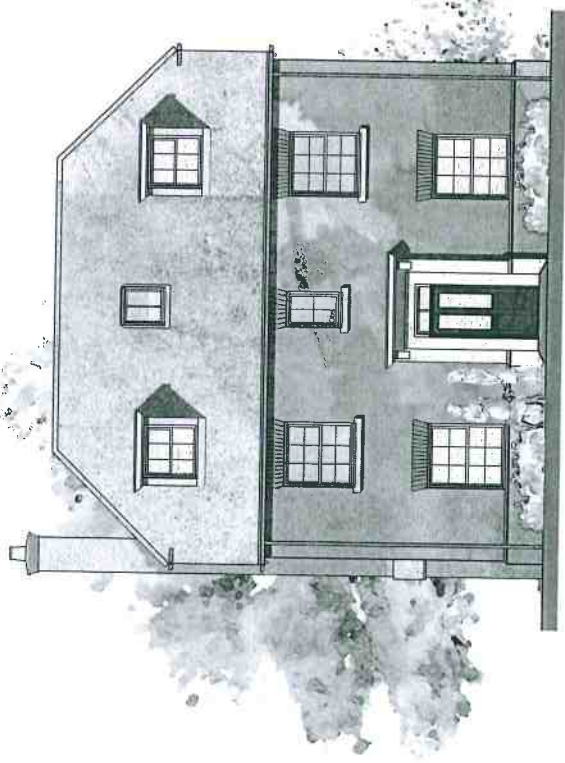
NOTE:
 For glazing sound insulation performance,
 for each window please refer to table 2
 of 'SRL' acoustic report.



Side Elevation

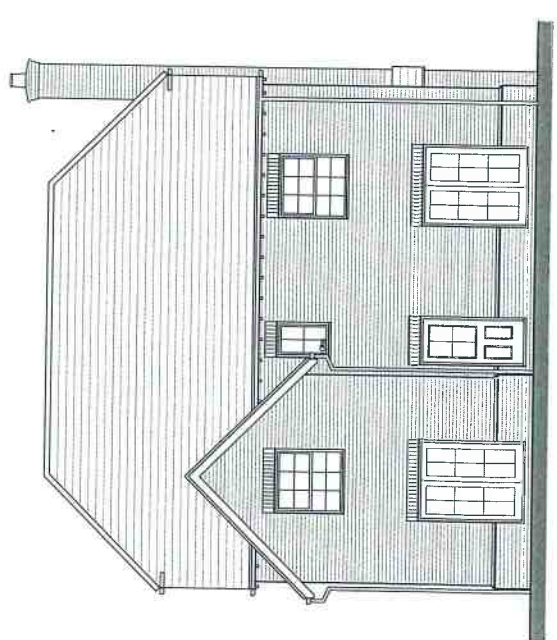


Side Elevation



Front Elevation

*Obs - Obscured Glass



Rear Elevation

*Obs - Obscured Glass

PLANNING



thrive.
 architects
 Romsey Office
 Building 300, The Grange, Romsey Road, Michelmarsh, SO51 0AE
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 www.thrivearchitects.co.uk

PROJECT

Askett Nurseries
 Aylesbury Road, Askett
 For: Armstrong Rigg Planning

DRAWING

Plot 1
 Elevations

SCALE	DATE	AUTHOR	CHKD
1:100 @ A3	Mar 2019	FK	MP

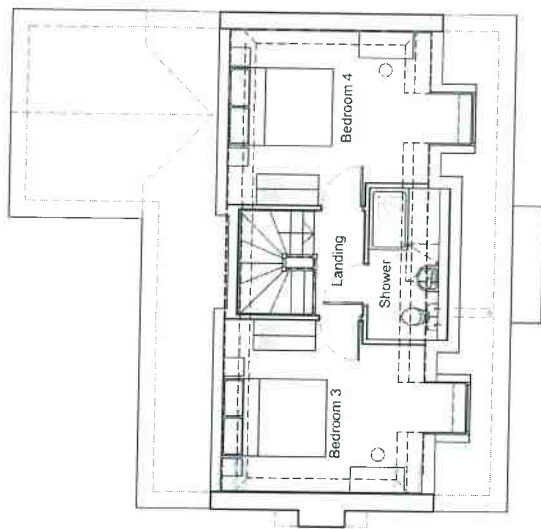
JOB NO.	DRAWING NO.	REV
ARMS180714	Plot 1.e	A

CLIENT REF.

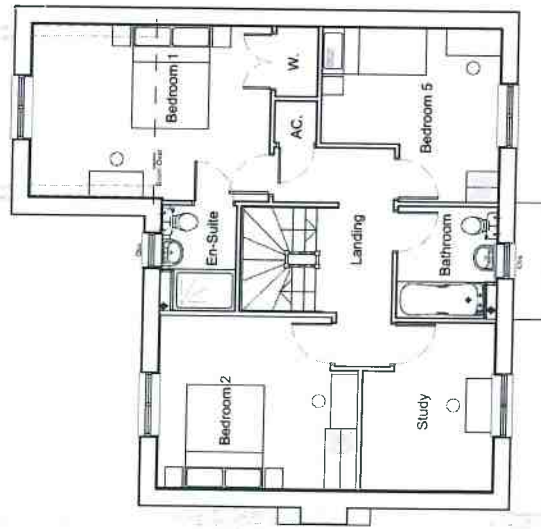
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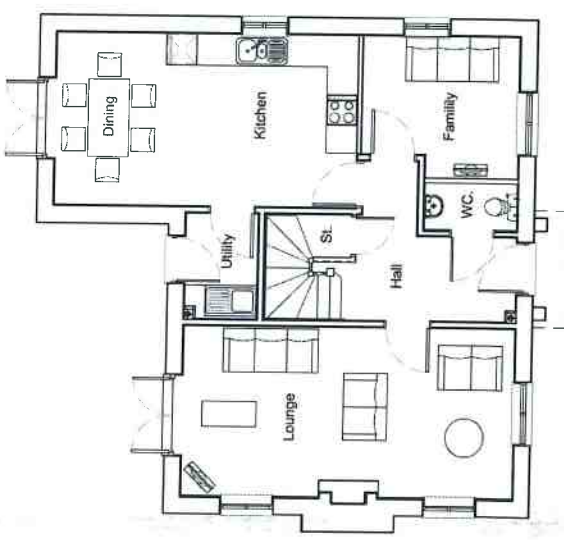
REV	DESCRIPTION	DATE	AUTH	CHKD
A	Status updated to Planning	2019-03-19	AS	AS



Second Floor Plan



First Floor Plan
 *Obs - Obscured Glass



Ground Floor Plan
 *Obs - Obscured Glass

scale 1:100



PLANNING



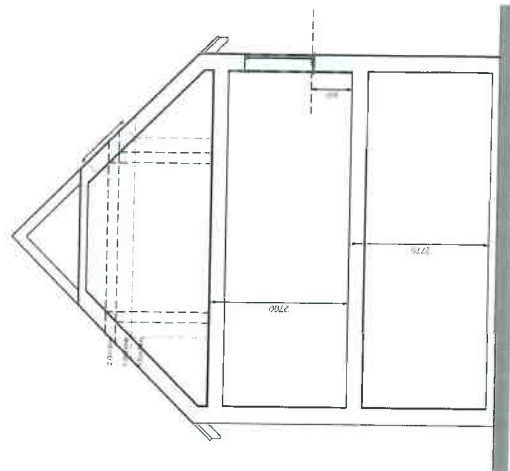
PROJECT
Askepp Nursery
 Alyesbury Road, Askepp
 For: Armstrong Rigg Planning

Building: 300, The Grange, Ramsey Road, Micklethorpe, SO5 0AE
 T: 01794 367763 F: 01794 357276 www.thrivearchitects.co.uk

SCALE	DATE	REVISION	CHK'D
1:100	@ A3	Mar 2019	FK MP
JOB NO.	DRAWING NO.	REV	
ARMS180714	Plot 1.P	A	
CLEVER REF			

Plot 1	Area	Volume
Plot 1	1855	172.39

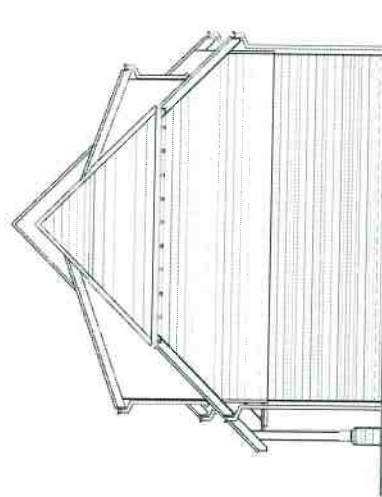
Typical Section



Plot 1	Area	Volume
Plot 1	1855	172.39



Front Elevation



Side Elevation

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 Consultants drawings.

REV	DESCRIPTION	DATE	AUTH	CHKD
A	Status updated to Planning	03.05.19	MP	

NOTE:
 For glazing sound insulation performance,
 for each window please refer to table 2
 of 'SRL' acoustic report.

scale 1:100



PLANNING



thrive.
 architects
 Harrogate Centre
 Building 300, The Grange, Romsley Road, Kettlewell, SO51 0AE
 T: 01794 367793 F: 01794 367276 www.thrivearchitects.co.uk

PROJECT

Askett Nurseries

Askett

For: Armstrong Rigg Planning

DRAWING

Plot 2-3

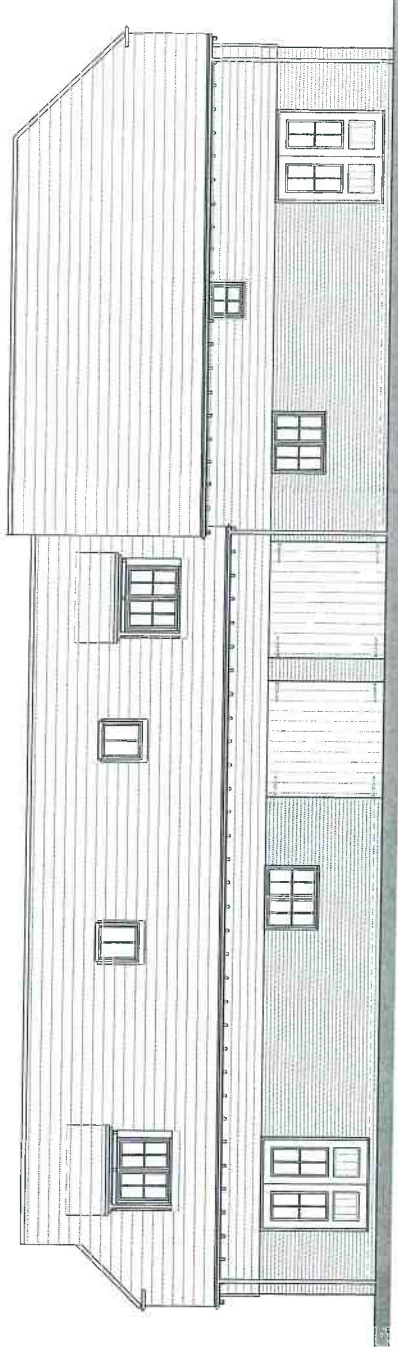
Elevations (1 of 2)

SCALE	DATE	AUTHOR	CHKD
1:100 @ A3	MAR 2019	P.Z	MP
JOB NO	DRAWING NO.	REV	
ARMS180714	P 2-3.e1	A	
CLIENT REF.			

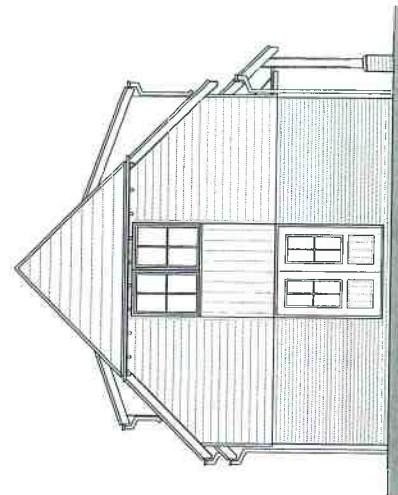
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 Consultants' drawings.

REV	DESCRIPTION	DATE	AUTH	CHK'D
A	Status updated to Planning	03.05.19	MP	



Rear Elevation



Side Elevation



NOTE:
 For glazing sound insulation performance,
 for each window please refer to table 2
 of 'SRL' acoustic report.

scale 1:100



PLANNING



architects
 Romsey Office
 Building 300, The Grange, Romsey Road, Michelmarsh, SO51 0AE
 t: 01794 367703 f: 01794 367276 www.thrivearchitects.co.uk

PROJECT

Askett Nurseries
 Askett
 For: Armstrong Rigg Planning

DRAWING

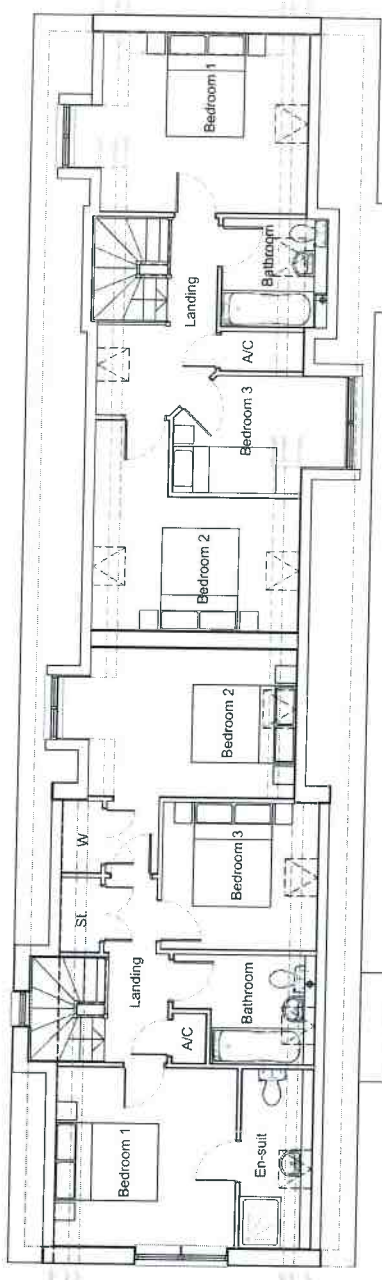
Plot 2-3
 Elevations (2 of 2)

SCALE	DATE	AUTHOR	CHK'D
1:100 @ A3	MAR 2019	PZ	MP
JOB NO.	DRAWING NO.	REV	CLIENT REF.
ARMS180714	P 2-3.e2	A	

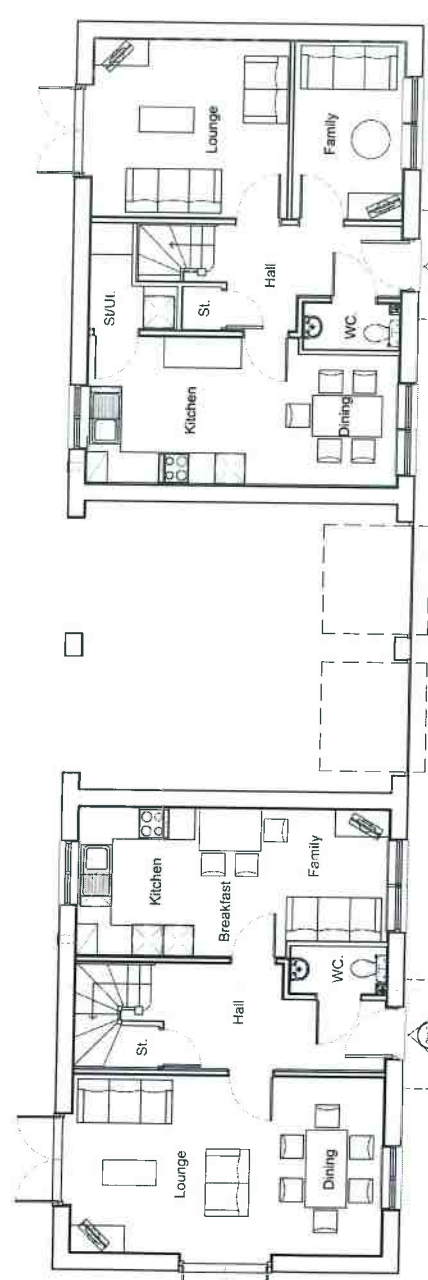
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REV	DESCRIPTION	DATE	AUTH	CHKD
A	Status updated to Planning	18/03/19	HP	HP



First Floor Plan



Ground Floor Plan

scale 1:100



PLANNING



PROJECT
 Askett Nurseries
 Askett
 For: Armstrong Rigg Planning

DRAWING
 Plot 2-3
 Floor Plan

SCALE	DATE	AUTHOR	CHKD
1:100 @ A3	MAR 2019	PZ	MP
JOB NO.	DRAWING NO.	REV	
ARMS180714	P 2-3-p	A	
CLIENT REF			

Plot	Area (sq ft)	Plot	Area (sq ft)	Plot	Area (sq ft)
Plot 3	1185	Plot 2	1110	Plot 1	103.12
3	1185	3	1110	5	103.12

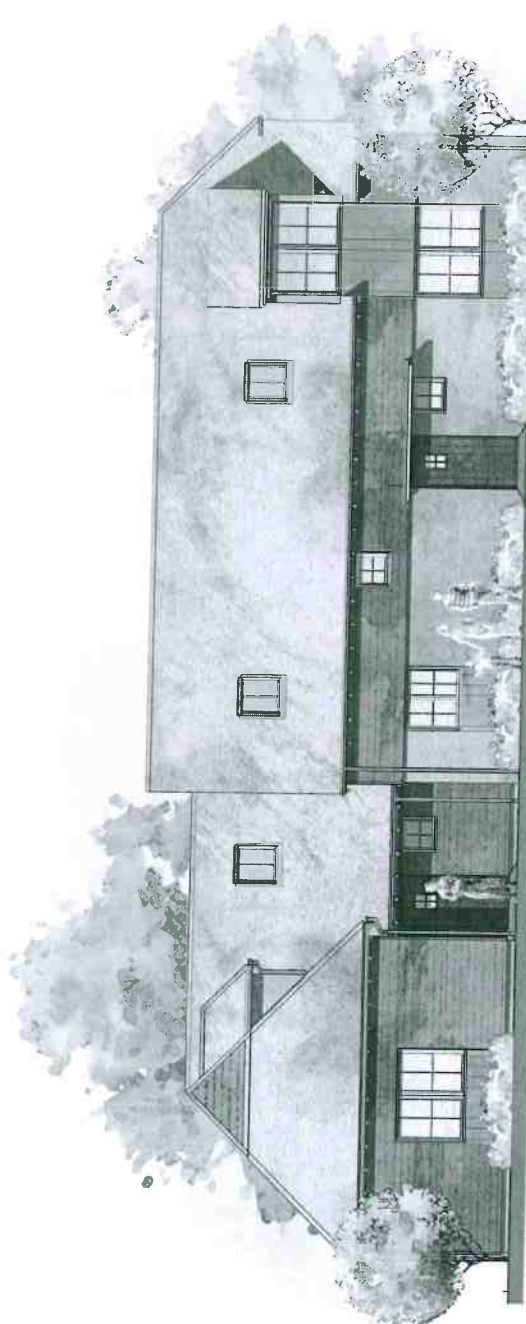
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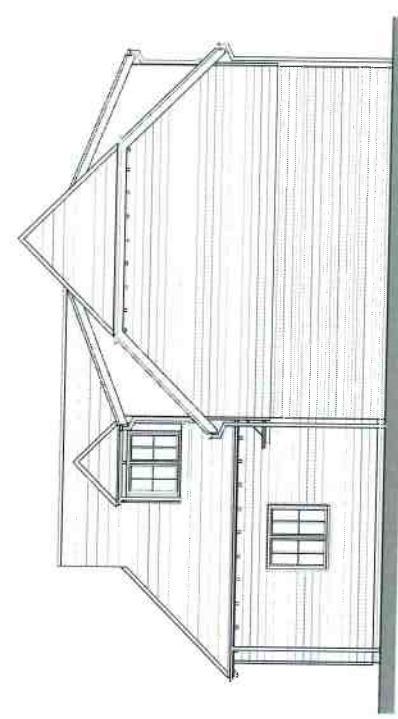
REV	DESCRIPTION	DATE	AUTH	CHK'D
A	Submit updated to Planning	03.05.19	MP	MP

NOTE:
For glazing sound insulation performance, for each window please refer to table 2 of 'SRL' acoustic report.

Scale 1:100



Front Elevation



Side Elevation

PLANNING



planning office
architects

Building 306, The Grange, Ramsey Road, Michelmersh, SO51 0AE
t: 01794 367703 f: 01794 362236 www.thrivearchitects.co.uk

PROJECT

Askett Nurseries

Askett

For: Armstrong Rigg Planning

DRAWING

Plot 4-5

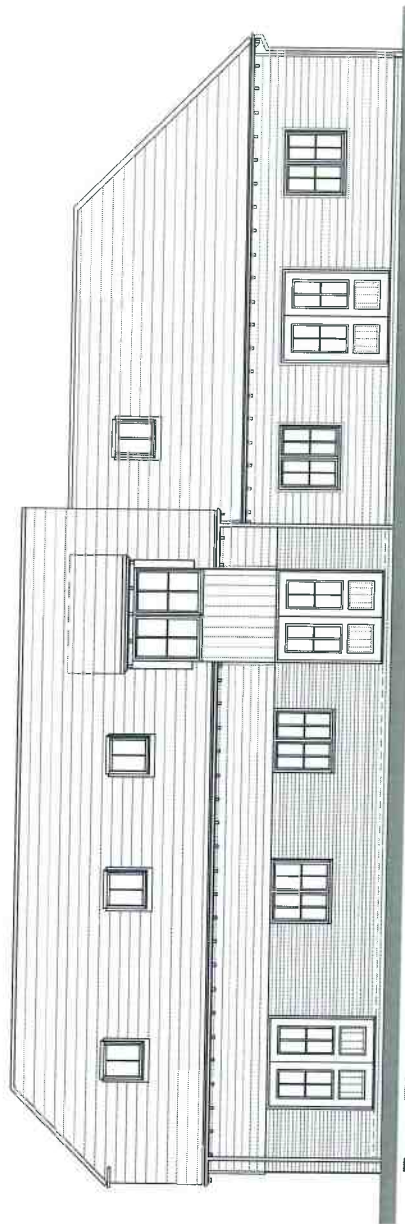
Elevations (1 of 2)

SCALE	DATE	AUTHOR	CHK'D
1:100 @ A3	MAR 2019	PZ	MP
JOB NO	DRAWING NO.	REV	
ARMS180714	P 4-5.e.1	A	
CLIENT REF.			

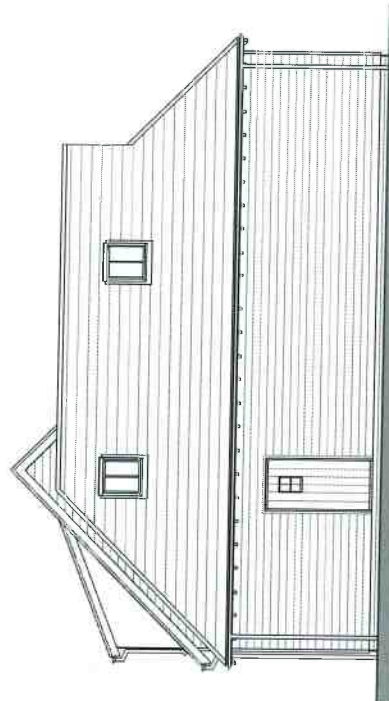
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REV	DESCRIPTION	DATE	AUTH	CHKD
A	Status updated to Planning	03/05/19	MP	



Rear Elevation



Side Elevation

NOTE:
For glazing sound insulation performance, for each window please refer to table 2 of 'SRL' acoustic report.

scale 1:100



PLANNING



Architecture Office

Building 300, The Grange, Samsay Road, Hinchinbrooke, SO51 0NE
T: 01794 357763 F: 01794 357726 www.thrivearchitects.co.uk

PROJECT

Askett Nurseries

Askett

For: Armstrong Rigg Planning

DRAWING

Plot 4-5

Elevations (2 of 2)

SCALE	DWG'S	AUTHOR	CHK'D
1:100 @ A3	MAR 2019	PZ	MP

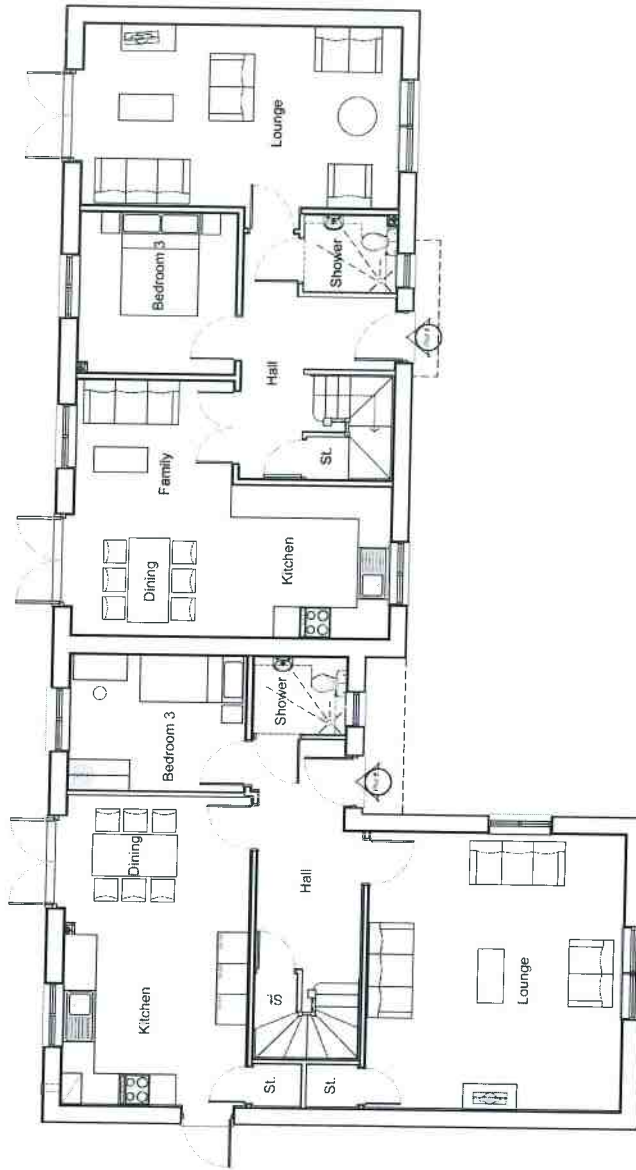
JOB NO.	DRAWING NO.	REV
ARMS180714	P 4-5.e2	A

CLIENT REF:

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REV	DESCRIPTION	DATE	AUTH	CHKD
A	Status: Issued for Planning	03.05.19		LP



Ground Floor Plan

scale 1:100



PLANNING



Building 200, The Gravel, Ramsey Road, Hockliffe, SC51 0NE
 t: 01794 367703 f: 01794 357276 www.thrivearchitects.co.uk

PROJECT

Askett Nurseries

Askett

For: Armstrong Rigg Planning

DRAWING

Plot 4-5

Floor Plan (1 of 2)

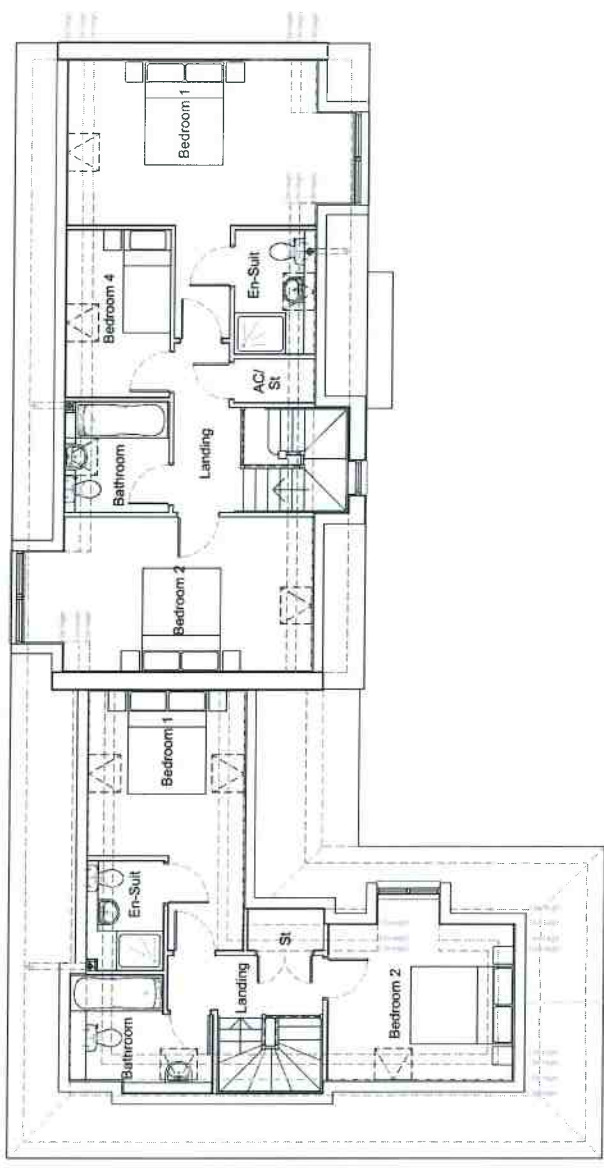
SCALE	DATE	AUTHOR	CHKD
1:100 @ A3	MAR 2019	PZ	MP
JOB NO.	DRAWING NO.	REV.	
ARMS180714	P 4-5.p1	A	
CLIENT REF.			

Plot No.	Area (sqm)	Plot No.	Area (sqm)
Plot 5	119.71	Plot 4	1465
3		4	
1284	119.71	5	1465
		7	136.11

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REV	DESCRIPTION	DATE	AUTH	CHK'D
A	State submitted for Planning	01/03/19	107	



First Floor Plan

scale 1:100



PLANNING



Building: 206, The Grange, Ramsey Road, Ashbourne, SQ5 0LE
 Telephone: 01753 367703 Fax: 01754 237276
 www.thrivearchitects.co.uk

PROJECT:
Askeet Nurseries
 Askeet
 For: Armstrong Rigg Planning

DRAWING:
Plot 4-5
Floor Plan (2 of 2)

SCALE	DATE	ACTION	CHILD
1:100 @ A3	MAR 2019	PZ	MP
DWG NO.	DRAWING NO.	REV	
ARMS180714	P 4-5.p2	A	
CLIENT REF			

Plot No	Area (sqm)	Permitted Use	Plot No	Area (sqm)	Permitted Use
Plot 5	1284	3	Plot 4	1465	7
Plot 6	119.71	5	Plot 7	136.11	7

Agenda Item 6.

Contact: Sarah White DDI No. 01494 421517 (part time)

App No : 18/05741/FUL App Type : FUL

Application for : Conversion of existing house into 1 x 3 bed and 1 x 2 bed flats, construction of front porch, insertion of side window and widening of parking area to front to create additional parking

At 1 Hillary Close, High Wycombe, Buckinghamshire, HP13 7RP

Date Received : 25/05/18 Applicant : Mr Mohammad Arif

Target date for decision: 20/07/18

1. **Summary**

- 1.1. The proposal would be considered to provide a satisfactory living environment for the future occupiers, and to safeguard the privacy and amenity of the neighbouring properties. Furthermore the proposal would not be considered to have a detrimental impact upon the character and appearance of the area or the safety and convenience of users of the adjoining highway.
- 1.2. The proposal complies with the relevant Development Plan policies and is therefore recommended for approval subject to conditions.

2. **The Application**

- 2.1. Full planning permission is sought for the conversion of existing house into 1 x 3 bed and 1 x 2-bed flats.
- 2.2. The proposed conversion works involve the construction of a front porch, the insertion of ground floor window within the western flank elevation, stepped access between the parking area and the front porch, and the widening of dropped kerb and parking area to front to create additional on-site parking. Each flat would utilise a separate entrance with one flat being located on the ground floor and the other flat occupying the first floor.
- 2.3. The agent has submitted an additional plan showing the layout of the existing roof space and loft hatch access.
- 2.4. The application related to a two storey semi-detached dwelling finished in brick under a hipped tiled roof. The property has been previously extended by means of a part two storey/part single storey rear extension, rear canopy roof, and a single storey side extension.
- 2.5. The property currently benefits from a dropped kerb and on-site parking for two vehicles. The property occupies a roughly triangular shaped plot located within the established residential area of Hillary Road, in close proximity to the junction of Hillary Road and Hillary Close. Ground levels slope up towards the northwest.
- 2.6. The application is accompanied by a Design and Access Statement.
- 2.7. This application was previously considered at the Planning Committee meeting on 12th December 2018, at which time members resolved to defer the application for officers to negotiate amendments to the design and layout of the proposed accommodation.
- 2.8. Following negotiations between officers and the applicant's agent, the application has been subsequently amended through the submission drawing numbers 1185/01C, 1185/02B, 1185/03D, 1185/04, 1185/05, 1185/06F, WDC1 and WDC1.1 (Bin store), WDC2 and WDC2.1 (Cycle store).
- 2.9. Summary of amendments:

- internal layout of first floor flat amended; bedrooms now above ground floor bedrooms, living spaces above ground floor above living spaces, reduced from 3-bed to 2-bed, size of kitchen/living area increased,
- alteration to front window of ground floor front bedroom adjacent entrance porch,
- separate private amenity areas provided,
- bin and bike store detail provided, and,
- minor change to parking layout.

3. Working with the applicant/agent

- 3.1. In accordance with paragraph 38 of the NPPF2 Wycombe District Council (WDC) approach decision-taking in a positive and creative way taking a proactive approach to development proposals focused on solutions and work proactively with applicants to secure developments.
- 3.2. WDC work with the applicants/agents in a positive and proactive manner by offering a pre-application advice service, and as appropriate updating applications/agents of any issues that may arise in the processing of their application. In this instance the applicant/agent was updated of any issues after the initial site visit and provided the opportunity to submit amended plans to address the issues raised.
- 3.3. The agent responded by submitting amended plans, which were found to be acceptable, and the application was recommended for approval in accordance with the Council's delegated procedures.
- 3.4. Following concerns raised by the Planning Committee, additional amendments were sought by the case officer to overcome the issues raised by members. The agent responded by submitting amended plans, which were found to be acceptable. The application is recommended for approval.

Relevant Planning History

- 3.5. 10/07602/FUL – Householder application for construction of single storey and first floor side extensions and new front porch – Approved but not implemented
- 3.6. 10/05941/FUL - Householder application for first floor side extension and front porch – Approved but not implemented
- 3.7. 06/07728/FUL – Construction of front porch (retrospective) – Refused. The front porch was considered to visually unbalance the proportions of the original pair of properties. The mass and bulk of the porch was considered to dominate the property harming the character and appearance of the property and the street scene. The appeal was dismissed and the porch removed.
- 3.8. 04/07607/FUL – Construction of single storey side, part single storey, part two storey rear extensions - Approved
- 3.9. 04/05017/FUL - Construction of single storey side, part single storey part two storey rear extensions incorporating new garage - Approved

4. Issues and Policy considerations

Principle and Location

Residential Design Guidance Supplementary Planning Document;
New Local Plan: Policies CP1, CP3, CP9, DM20, DM35;

- 4.1. The application site is located within an existing residential area. Given this policy context residential intensification is considered acceptable in principle, providing the development complies with the Development Framework and other material planning considerations.

Raising the quality of place making and design

New Local Plan: Policies CP9, DM35

Residential Design Guidance

- 4.2. This application seeks to convert an existing 4-bed dwelling to form one 2-bed and one 3-bedflats. The external alterations consist of the construction of a new front porch, the insertion of ground floor window within the western flank elevation, and alterations to the front window within the existing single storey side projection.
- 4.3. Within the site frontage excavation works would take place, alongside alterations to the kerb line, to enlarge the existing frontage parking area. As a result the frontage would be entirely hard surfaced. It was noted during the application site visit that the frontage of the neighbouring property No. 3 Hillary Close has already been turned over to hardstanding for parking, albeit with a smaller crossover and the retention of a small front boundary wall.
- 4.4. To the rear of the site the garden area is shown to be divided to provide two separate private amenity areas. Enclosed bin storage would be located toward the eastern boundary within the site frontage, with enclosed cycle storage located within the private amenity areas. The information submitted with regards to the location and external appearance of the bin and cycle stores is considered to be acceptable, and would not be considered to detract from the character and appearance of the area.
- 4.5. The inclusion of fixed obscure glazing within the front elevation of a dwelling limits the building's connection with the street scene and should normally be avoided. In this instance, however, the window to be obscurely glazed is located within a single storey side projection, and not within the main building. As such the implications are far less significant. Officers therefore raise no objections to this aspect of the proposal.
- 4.6. Whilst the proposal would increase the number of residents within the building, the impact of the proposal upon the overall character and appearance of the residential area would be considered relatively minimal.

Amenity of existing and future residents

New Local Plan (Submission Version): DM33, DM35

Residential Design Guidance

Neighbouring Properties

- 4.7. The site is bounded by No. 87 Hillary Road to the west, a parking area associated with the Highcrest Academy School to the north, and the adjoining semi-detached property No. 3 Hillary Close to the east.
- 4.8. The proposed external alterations to the building itself consist of; a new front porch and the insertion of ground floor window within the western flank elevation. Though the demolition of the canopy roof at the rear of the property has not been specifically identified, as the application details make no reference to the retention of this structure and its location is not shown on the proposed plans, it is assumed that this structure is to be removed.
- 4.9. With regards to the impact upon No. 87 Hillary Road the proposed ground floor window would be located adjacent an existing window, facing an existing boundary fence. Having regards to the position of the window and the height of the adjacent fence the proposed window would not be considered to raise any significant issues in terms of overlooking.
- 4.10. As the proposal would utilise the existing amenity area to provide the necessary amenity for the occupiers of the new units, this aspect of the proposal would not be considered to raise any particular concerns with regards to neighbouring amenity.
- 4.11. Whilst officers are mindful that roof lights have already been inserted within the roof space, the floor plans indicate that this area is used for storage. In any event the roof lights are existing and any views from those roof lights would be directed toward the

rearmost section of the garden. Should the roof space be converted to create an additional bedroom at some time in the future, the use of the loft space as habitable floor area in connection with the first floor flat would be no different from the use of the loft space as habitable floor area in connection with the use of the property as a single dwelling.

- 4.12. The proposed conversion of the dwelling to form two flats would not be considered to result in any significant change in the relationship between the application property and the adjacent dwellings in terms of light, outlook and privacy. As such the impact upon the residential amenities of these properties is considered acceptable.

Future Occupiers

- 4.13. Each flat would utilise a separate entrance with one flat being located on the ground floor and the other flat occupying the first floor. The proposed development would be considered to provide a good standard of habitable accommodation for the new occupiers in terms of layout, light, outlook and privacy.
- 4.14. The layout of the first floor flat has been amended and the number of bedrooms reduced to; increase the size of the kitchen/dining area, and to reduce the potential for noise transference in relation to the ground floor flat by placing bedrooms above bedrooms and living spaces above living spaces.
- 4.15. Members previously raised concerns with regards to a potential loss of privacy for the occupants of the ground floor flat, as a result of the position of the first floor access adjacent the ground floor bedroom window.
- 4.16. The applicant has sought to overcome this issue by reducing the size of the bedroom window, thereby increasing the distance from the window to the doorway, and making the lower portion of the window fixed shut and obscurely glazed.
- 4.17. The upper section of the window would be clear glazed and openable. Given the existence of a second window within the flank elevation of this bedroom, it is considered that a sufficient level of light and outlook would be achieved. Therefore whilst such an arrangement is not ideal, officers do not consider there would be sufficient ground for a refusal on this basis.
- 4.18. The existing rear garden area is of a sufficient size to be divided to create separate amenity areas for each flat. Enclosed bin storage would be provided within the site frontage, in easy access of both flats, while separate enclosed cycle storage would be provided within the new private amenity areas.
- 4.19. Having regards to the above it is considered that the proposal would provide an acceptable standard living environment for the occupiers of the new units, with an acceptable level of conveniently located parking, without having a detrimental impact upon the residential amenities of the neighbouring properties.

Transport matters and parking

New Local Plan: DM33

Buckinghamshire Countywide Parking Guidance

- 4.20. The application site is located within Residential Zone A wherein each property with up to 3 bedrooms/6 habitable rooms would be expected to provide 2 on-site parking spaces, with each space a minimum of 2.8 metres in width by 5 metres in length.
- 4.21. The application has been amended to demonstrate the provision of 4 on-site parking spaces measuring 2.8 metres in width by 5 metres in length, with pedestrian footpath a minimum of 1 metre in width to provide unhindered foot access to the flats, in accordance with the Highway Authority's initial comments.
- 4.22. With regards to cycle parking the proposed development would be expected to provide safe and secure covered storage for a total of 4 bicycles. Drawing no. 1185/06F indicated the provision of two enclosed cycle stores, one within each private amenity area. The proposal would therefore be considered to provide sufficient cycle storage.

- 4.23. Any access point along this section of the road would need to comply with the visibility requirements stated by Manual for Streets and the County Highway Authority have confirmed that this can be secured by way of condition.
- 4.24. The proposed development would provide a sufficient level of on-site parking in accordance with the Buckinghamshire Countywide Parking guidance, and would not be considered to have a detrimental impact upon the safety and convenience of users of the adjacent highway, or the associated footway.
- 4.25. Whilst officers are mindful that roof lights have already been inserted within the roof space, having consulted the Buckinghamshire Countywide Parking Guidance officers can confirm that, should the roof space be converted to create an additional bedroom, the parking requirement would remain unchanged.

Flooding and drainage

DSA: DM17;

New Local Plan: DM39

DETR Circular 03/99

- 4.26. The site is not located within the flood plain or within an area identified as being at risk of surface water flooding. The Buckinghamshire County Council SuDS team has no comments on this planning application due to the scale of the development which predominantly relates to changes to the internal configuration of the building.
- 4.27. The proposed dwellings would be served by mains drainage which is the preferred method for foul sewage removal. Thames Water monitor the Council's weekly list of applications and comment as they deem necessary. No objections have been received from Thames Water in relation to the current proposal therefore the Council has no objections in respect of this aspect of the proposal.

Building sustainability

DSA: DM18;

New Local Plan: Policies DM41

- 4.28. Following the Adoption of the Delivery and Site Allocations Plan (July 2013) and in particular policy DM18 (Carbon Reduction and Water Efficiency) it would have previously been necessary to impose a condition to secure the required 15% reduction in carbon emissions as well as reducing future demand for water associated with the proposed dwelling. However, this was superseded in October 2016 by ministerial policy to transfer the issue to Building Regulations. It is therefore only considered necessary to condition water efficiency.

Weighing and balancing of issues – overall assessment

- 4.29. This section brings together the assessment that has so far been set out in order to weigh and balance relevant planning considerations in order to reach a conclusion on the application.
- 4.30. In determining the planning application, section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. In addition, Section 143 of the Localism Act amends Section 70 of the Town and Country Planning Act relating to the determination of planning applications and states that in dealing with planning applications, the authority shall have regard to:
- a) Provision of the development plan insofar as they are material
 - b) Any local finance considerations, so far as they are material to the application (in this case, CIL)
 - c) Any other material considerations
- 4.31. As set out above it is considered that the proposed development would accord with the relevant of development plan policies.

Recommendation: Application Permitted

- 1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (As amended).
- 2 The development hereby permitted shall be built in accordance with the details contained in the planning application hereby approved and plan numbers 1185/01C, 1185/02B, 1185/03D, 1185/04, 1185/05, 1185/06F, WDC1 and WDC1.1 (Bin store), WDC2 and WDC2.1 (Cycle store) unless the Local Planning Authority otherwise first agrees in writing.
Reason: In the interest of proper planning and to ensure a satisfactory development of the site.
- 3 The materials to be used for the external surfaces, including walls, roofs, doors and windows and the surfacing materials for the extended parking area, shall be of the same colour, type and texture as those used in the existing building and parking area, unless specified within the application details or otherwise first agreed in writing by the Local Planning Authority.
Reason: To secure a satisfactory external appearance.
- 4 The bin and cycle storage facilities and the private amenities areas hereby approved shall be provided and made available to the occupiers, in accordance with the approved details, before the development that they relate to is first occupied and thereafter the facilities shall be permanently retained.
Reason: In the interests of the amenities of the occupiers and adjoining residents.
- 5 The development, hereby permitted, shall be designed and constructed to meet a water efficiency standard of 110 litres per head per day.
Reason: In the interests of water efficiency as required by Policy DM18 of the Adopted Delivery and Site Allocations Plan (July 2013).
- 6 No other part of the development shall begin until the new means of access has been altered in accordance with the approved drawing and constructed in accordance with Buckinghamshire County Council's guide note "Private Vehicular Access Within Highway Limits" 2013.
Reason: In order to minimise danger, obstruction and inconvenience to users of the highway and of the development.
- 7 The scheme for parking indicated on the submitted plans shall be laid out prior to the initial occupation of the development hereby permitted and that area shall not thereafter be used for any other purpose.
Reason: To enable vehicles to draw off and park of the highway to minimise danger, obstruction and inconvenience to users of the adjoining highway.

INFORMATIVE(S)

- 1 In accordance with paragraph 38 of the NPPF2 Wycombe District Council (WDC) approach decision-taking in a positive and creative way taking a proactive approach to development proposals focused on solutions and work proactively with applicants to secure developments. WDC work with the applicants/agents in a positive and proactive manner by offering a pre-application advice service, and as appropriate updating applications/agents of any issues that may arise in the processing of their application. In this instance the applicant/agent was updated of any issues after the initial site visit and provided the opportunity to submit amended plans to address the issues raised. The agent responded by submitting amended plans, which were found to be acceptable, and the application was recommended for approval in accordance with the Council's delegated procedures.

Following concerns raised by the Planning Committee, additional amendments were sought by the case officer to overcome the issues raised by members. The agent responded by submitting amended plans, which were found to be acceptable, and the application was recommended for approval.

- 2 It is contrary to section 163 of the Highways Act 1980 for surface water from private development to drain onto the highway or discharge into the highway drainage system. The development shall therefore be so designed and constructed that surface water from the development shall not be permitted to drain onto the highway or into the highway drainage system.
- 3 The applicant is advised that a licence must be obtained from the Highway Authority before any works are carried out on any footway, carriageway, verge or other land forming part of the highway. A period of 28 days must be allowed for the issuing of the licence, please contact Transport for Buckinghamshire at the following address for information.

Transport for Buckinghamshire (Streetworks)
10th Floor, New County Offices
Walton Street, Aylesbury,
Buckinghamshire
HP20 1UY
01296 382416
- 4 It is an offence under S151 of the Highways Act 1980 for vehicles leaving the development site to carry mud onto the public highway. Facilities should therefore be provided and used on the development site for cleaning the wheels of vehicles before they leave the site.
- 5 No vehicles associated with the building operations on the development site shall be parked on the public highway so as to cause an obstruction. Any such wilful obstruction is an offence under S137 of the Highways Act 1980.

18/05741/FUL

Consultations and Notification Responses

Ward Councillor Preliminary Comments

Councillor Julia Wassell - Thank you for contacting me regarding this planning application. I am not in support of this application due to insufficient parking in this small Close and also a drastic change of character for this small Close which has been family housing for one family. In addition, I have removed really recently received multiple complaints from residents about this application and would therefore wish to call it in to the planning committee. I have raised separate concerns about the management of this property with Bucks County Council.

Parish/Town Council Comments/Internal and External Consultees

High Wycombe Town Unparished – Totteridge Ward

Buckinghamshire County Council (Non Major SuDS)

Comment: Thank you for the consultation on the above proposal, which we received on 29th May 2018. Having reviewed the information submitted to accompany this application, Buckinghamshire County Council as the Lead Local Flood Authority (LLFA) has no comments on this planning application due to the scale of the development; the proposed alterations are predominantly internal, with the exception of the proposed porch which has a small footprint proposed on an area of existing hardstanding. From the review of surface water mapping and groundwater mapping; the site does not appear at risk of flooding (Groundwater mapping provided by Jeremy Benn Associates and surface water mapping provided by the Environment Agency).

County Highway Authority

Initial Comment: The proposed development is the conversion of the existing three bed dwelling into two three bed flats with associated parking off Hillary Close, High Wycombe. Hillary Close is an unclassified road subject to a 30mph speed limit. There are footways in the vicinity of the site which provide links to public transport.

Drawing 1185/06 shows the existing dropped kerb off Hillary Close extended. The proposed dropped kerb extension would provide adequate access to the proposed parking spaces. Any access point along this section of the road would also need to comply with the visibility requirements stated by Manual for Streets of 2.4m X 43m from both directions to the near side carriageway and this can be secured by way of condition should this application gain approval.

Regarding parking; Wycombe District Council has adopted the County Council's Buckinghamshire Countywide Parking Guidance (BCPG) policy document, and identifies the site as being located within Zone A. When using the parking calculator, it states that each two bedroom dwelling is required to have at least two car parking spaces and that each parking space should be a minimum of 2.8 x 5m wide. After assessing Drawing 1185/06 I note that the proposed spaces fall short of the minimum width of 2.8 x 5m as they measure approximately 2.4 x 5.1m. I therefore require the submission of amended plans showing the parking spaces widened in accordance with guidance to ensure they can safely accommodate vehicles off the highway.

I am also concerned that there is insufficient space between the proposed porch and parking spaces to ensure safe access. Additional plans must therefore be submitted illustrating that there is at least one metre between the porch and parking spaces.

Mindful of the above, I require additional information to be provided. Once in receipt of satisfactory information, I will be in a position to submit final highway comments.

Further Comments: Hillary Close is an unclassified residential road subject to a 30mph speed restriction with no parking or waiting restrictions in place. The road benefits from pedestrian footways and street lighting.

The Highway Authority has previously provided comments on this application. My colleague Sarah Hearn requested the demonstration of four parking spaces meeting 2.8 x 5 metre dimensions in addition to a 1 metre wide footway to provide safe access to the dwellings.

I note that these comments were based upon the information supplied that the development will constitute two three bed flats and not one or more sui generis house/s in multiple occupation.

Having assessed the submitted plans, I consider the parking requirement and the pedestrian access to both flats to have been demonstrated. I believe that these can be secured by way of condition.

Mindful of the above comments, I have no objection to the proposed application subject to the suggested conditions and informatives.

Control of Pollution Environmental Health

Comment: No objection.

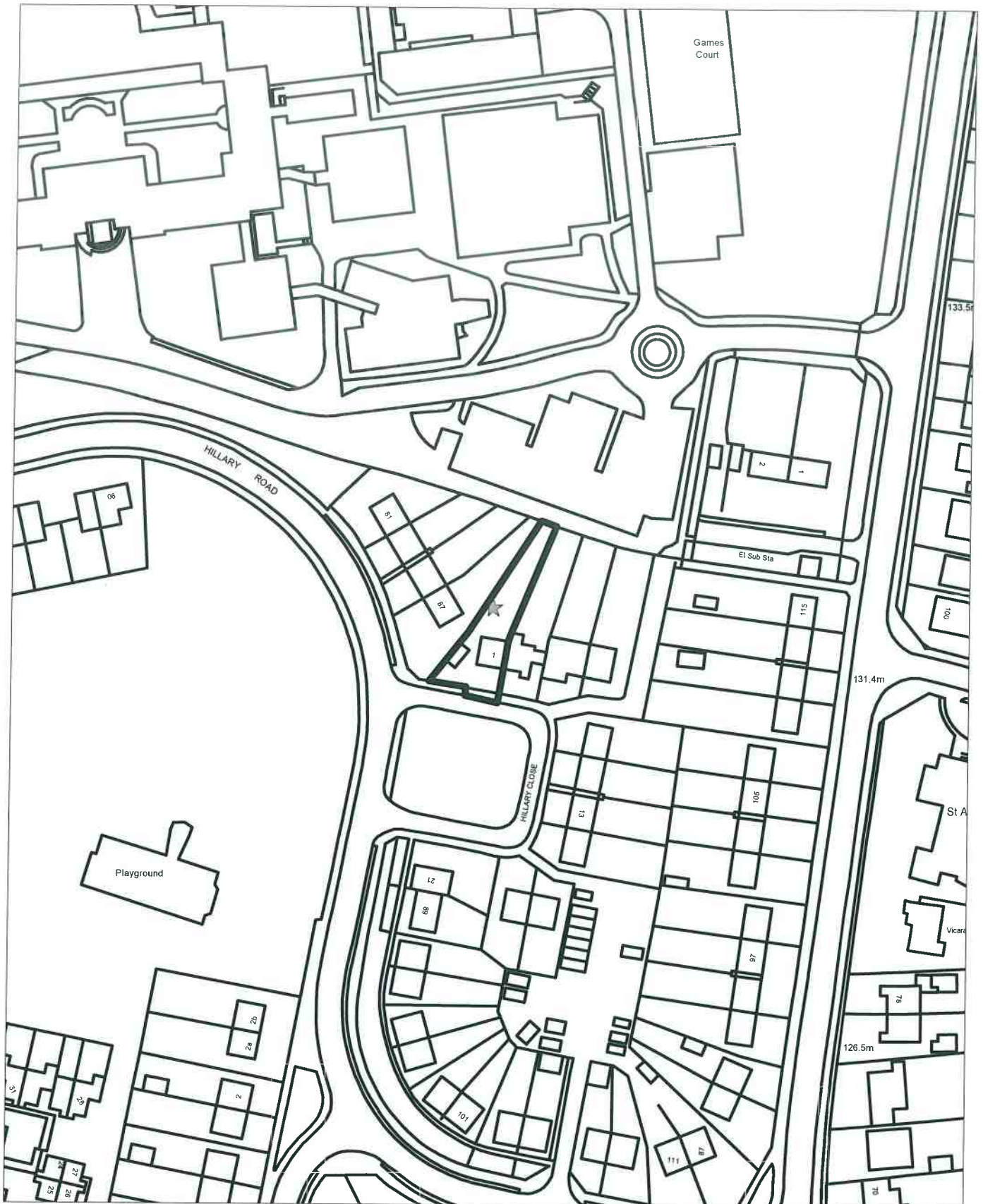
Representations

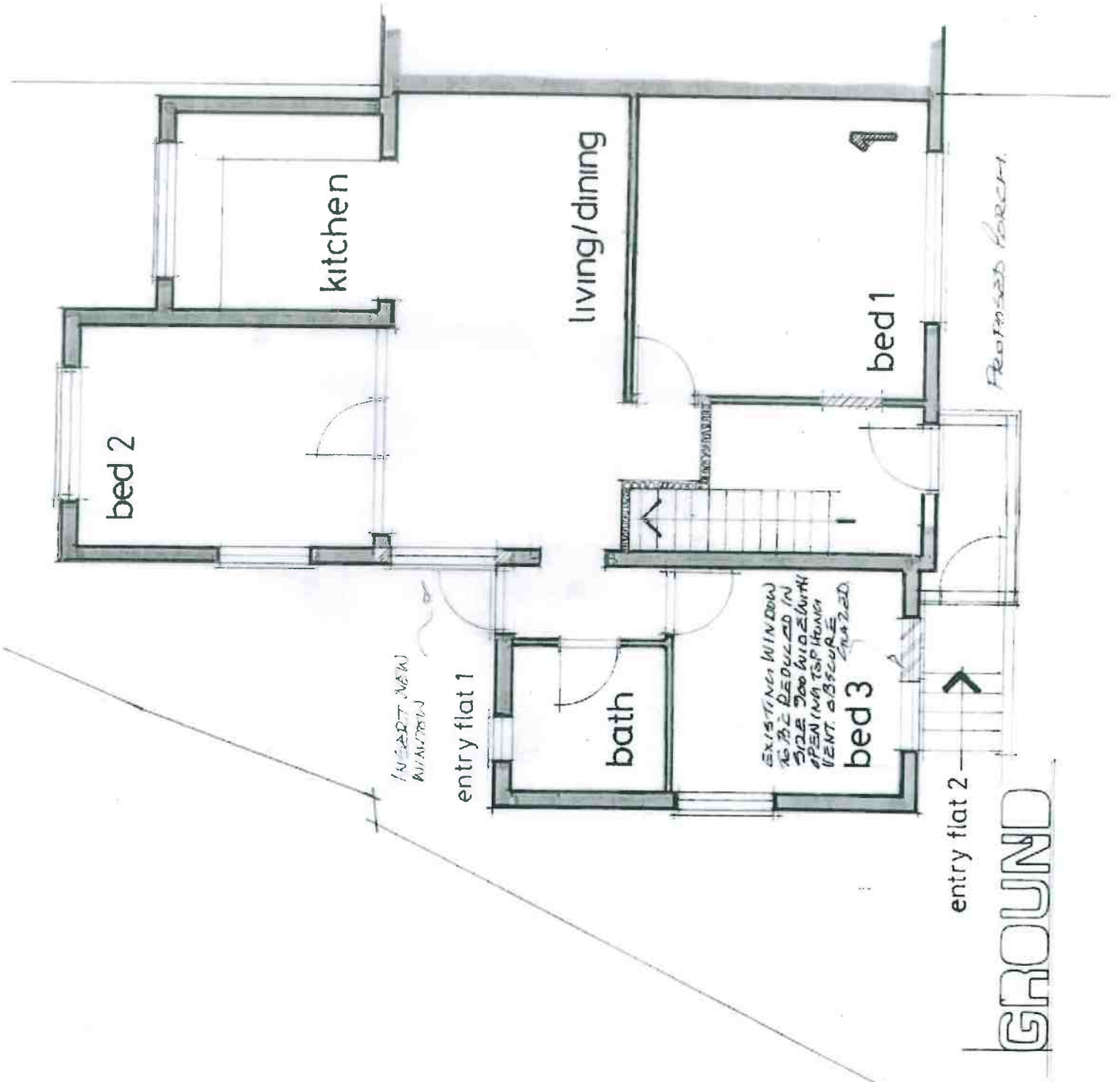
14 Letters of objection were received in response to the application. Summary of comments received objecting on the following grounds:

- Out of keeping with the character of the area,
- Location of bin storage unclear,
- Potential increase in noise arising from increase in number of residents,
- Loss of neighbouring privacy,
- Safety of users of the footpath,
- Concerns over foul sewerage disposal method.

Concerns have also been raised with regards to overflowing bins, flies, and rats. Whilst the provision of suitable bin storage areas is a planning consideration, issues relating to: fly and rat infestations as a result of overflowing refuse bins, noise nuisance, and antisocial behaviour are covered by separate legislation under the Environmental Health Act and as such do not constitute a material planning consideration in this case.

18/05741/FUL
Scale 1/1250





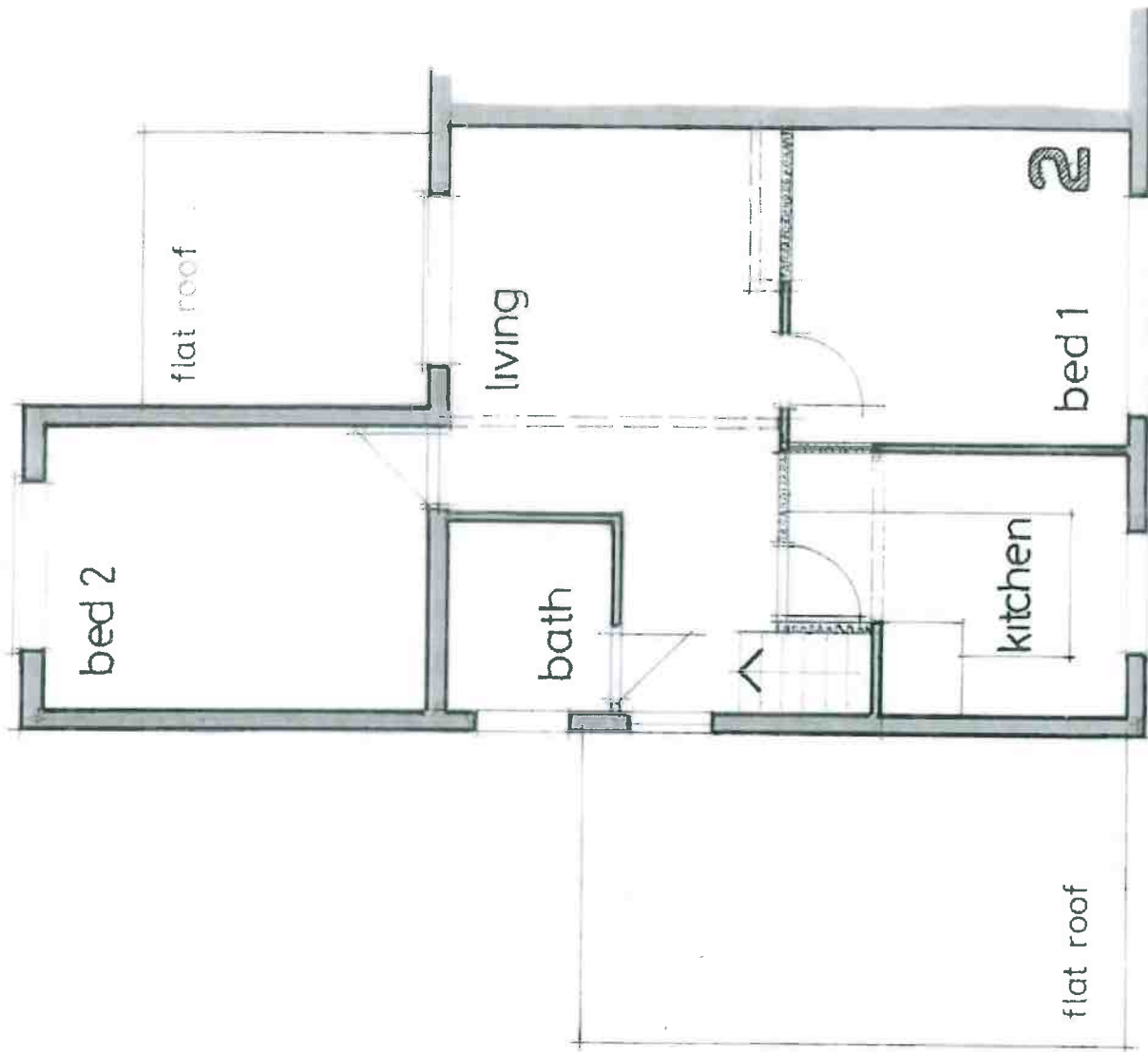
Ref: 18/CS/1647/Rev 1
AMENDED

PLANNING
 5 APR 2018
 WYCOMBE DISTRICT



scale 1:50 paper a3

Revisions	
Client	MR AEF
Project	1 HULLY CLOSE HAT WYCOMBE
Drawing	GROUND FLOOR FLAT 1
TIM ISAAC, FR ARCH REG UK, ACP Architectural Design Services 80 Fairview Road, Taplow, Maidenhead, Berkshire, SL6 0NU Tel: 01628 025971	
Drawn	TT Isaacs Date 11/12/2017
Scale	1:50
Drawing Number	1185/01 C



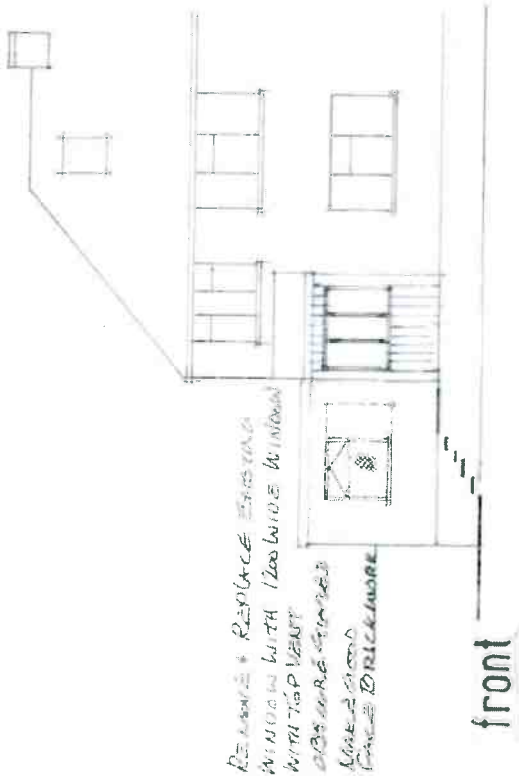
PLANNING
 5 AUG 2019
 WYCOMBE DISTRICT

FIRST FLOOR

Autocad 2014
 AMENDED

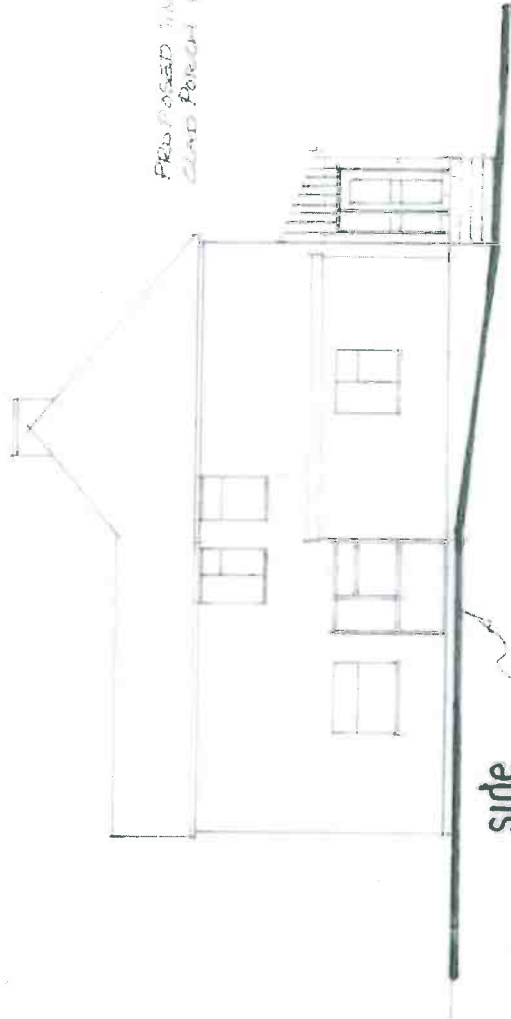


Requires	
Client	me A21F
Project	1 HILLARY COOSE HENRY WYCOMBE
Drawing	FIRST FLOOR FLAT 2.
TUDOR ISBAC INC ARCHITECTS LTD. Architectural Design Services	
80 Parsons Road, Taplow, Maidenhead, Berkshire SL6 9SL Tel: 01628 860971	
Drawn	A. B. Baker Date: Nov 7 2017
Scale	1:50
Permit Number	1185/02 B



REMOVE & REPLACE EXISTING WINDOW WITH 1200 WIDE WINDOW WITH TOP VENT
 DOOR TO BE STAINED
 CONCRETE BRICKWORK

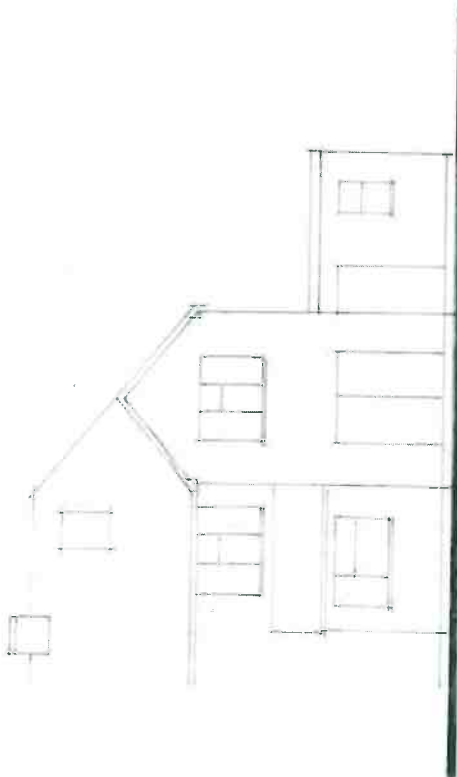
front



PROPOSED TERRACE
 WOOD PORCH & STAIRS

side

NEWER NEW WINDOWS



rear

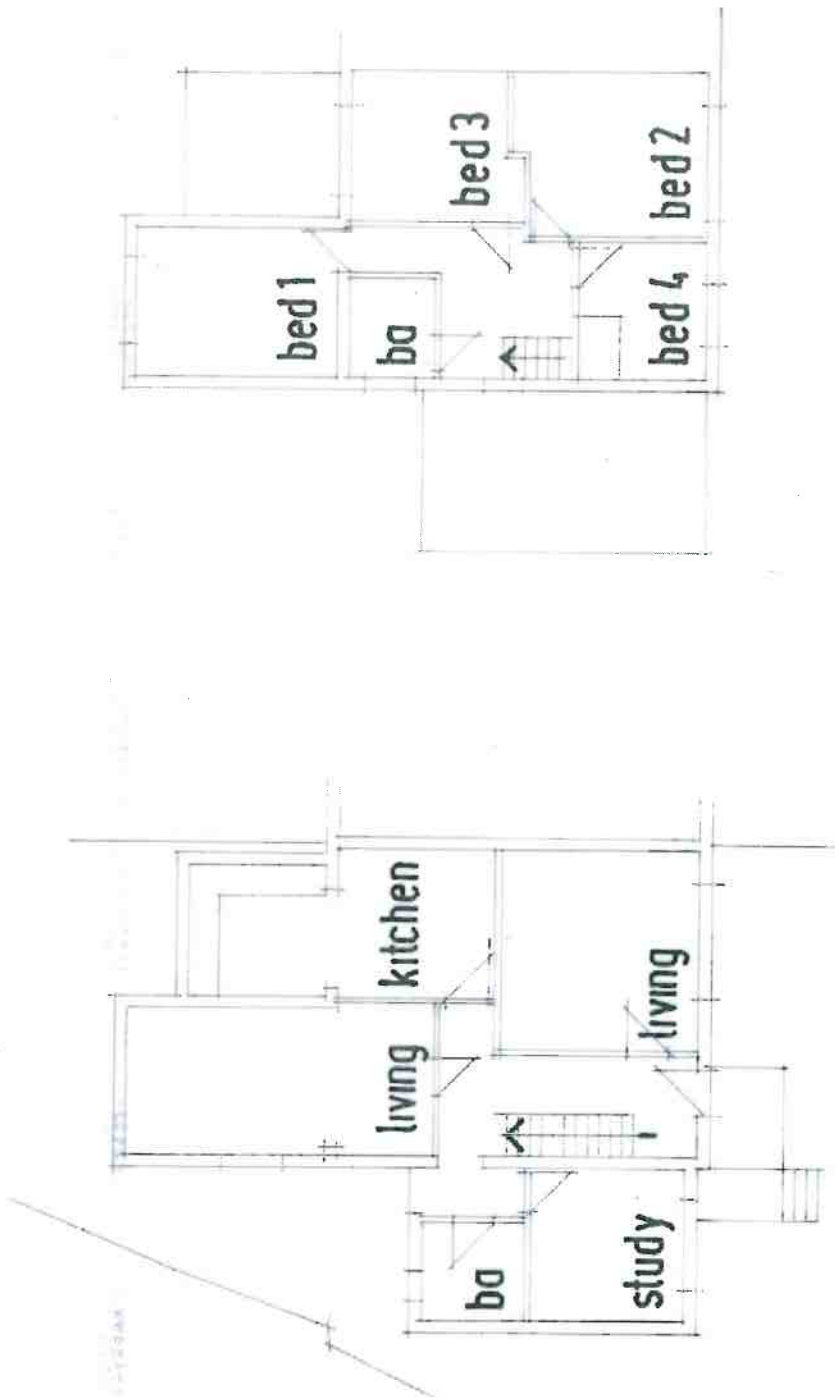
0 1 2 3 4 5
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 PLANNING
 11 JULY 2013
 WYCOMBE DISTRICT

Revisions	
Client	MR SEIF
Project	1 HILDAY CLOSE HIA-WYCOMBE
Drawing	ELEVATION
TIM ISAAC (INCORPORATED) Architectural Design Services 80 Fairview Road, Tipton, Macclesfield, Berkshire SL9 9RQ Tel: 01628 662871	
Drawn	H. Isaac Date
Scale	1:100
Drawing Number	1185/03 D

side
 Ref: 18/0311/01
 AMENDED

21.1.11.11
 ROOF WINDOWS ADDED

ELEVATIONS

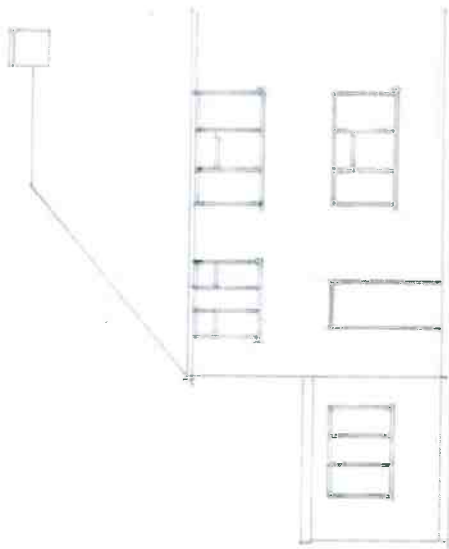


Ref: 13-10559-2000-01
AMENDED

0 1 2 3 4 5
 scale 1:100 paper a3
 PLANNING
 5 A 11 2115
 WYCOMBE DISTRICT

Revision	
Client	MR DELIF
Project	1 HILARY CLOSE HIGH WYCOMBE
Drawing	EXISTING FLOOR PLAN
Tim Isaac Architectural Design Services 80 Fairview Road, Taplow, Maidenhead, Berkshire SL6 0NU Tel: 03452 60571	Date
Scale	1:100
Drawing Number	1185 / 04
Revision	

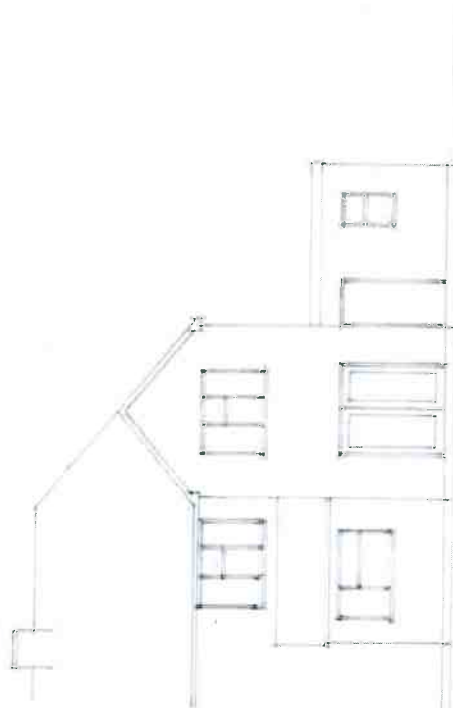
EXISTING FLOOR PLANS



front



side



rear

FILED IN CELL FOR
AMENDED

0	1	2	3	4	5
scale 1/100 paper a3					
PLANNING 7 AUG 2014 WYCOMBE DISTRICT					

Revisions	
Client	MR ASHF
Project	1 HILARY CLOSE HIGH WYCOMBE
Drawing	EXISTING ELEVATIONS
TIM ISAAC (INC) ARCHITECTS Architectural Design Services 80 Fairview Road, Taplow, Maidenhead Berkshire SL6 0NG TEL: 01628 625071	
Drawn	Tim Isaac
Date	
Scale	1:100
Drawing Number	1185 / 05
Revision	

ELEVATIONS EXISTING

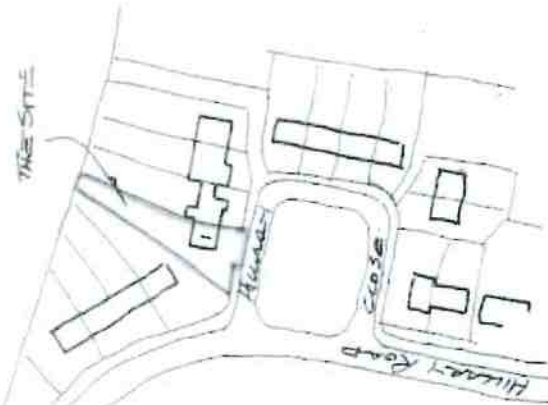
ENTRANCE FRAMES TO BUILDING

AMENITY AREA
ZONE 2

AMENITY AREA
ZONE 1

N

THE SITE



MIN 1.0M FOOTPATH.
BIN STORE ENCLOSURE
N/A KITCHEN/BIKE
2x0 HEADFOLD RUBBER
2x0 RECYCLING

1200mm TIMBER PANEL FENCE

BIKE STORE

PARKING 4 CARS.

SPACES 1 & 2 EXIST
SPACES 3 & 4 PROPOSED
BRICK PAVING TO MATCH.
SPACES 2 & 3 5.0M.

EXISTING DROPPERS PROPOSED UNDER KEYS
HILARY CLOSE

location plan 1.1250

site plan 1.200

Ref: 18 / CST/15/0001

AMENDED

REV A MAY 2015
RED LINE TO LOCATION PLAN
REVISED.

1	0	1	2	3

scale 1:50 paper a3

Revisions	
Client	MR SELF
Project	1 HILARY CLOSE HIGH WYCOMBE
Drawing	LOCATION & SITE PLANS
Drawn	Asaac
Date	1:1250 1:200
Scale	
Drawing Number	1185/06 F

Tim Isaac (INC) ARCH. MCIAT. ATP
Architectural Design Services

80 Fairford Road, Taplow, Maidenhead,
Berkshire SL6 0ND Tel: 01235 923771

Scale 1:1250 1:200

Drawing Number 1185/06 F

LOCATION SITE PLANS



REF: 18 / 05741 / R

ADDITIONAL PLANS

PLANNING
29 JUL 2019
WYCOMBE DISTRICT

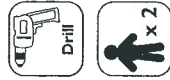
WDC 1



Biocidal Products
Regulation EU 528/2012
Wolmanit® CX treated wood is a treated article that incorporates biocidal products: copper hydroxide carbonate/II and boric acid. They protect wood against fungal decay/rot and insect attack.
Keep away from food, drink and animal feeding stuffs. Avoid breathing dust when cutting treated wood.

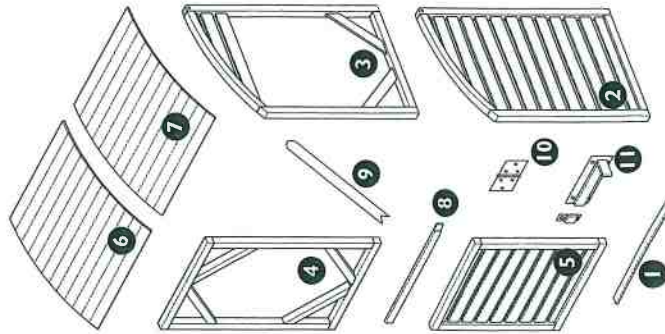
Before assembly

- We recommend that time is taken to read the instructions before starting assembly, then follow the easy step by step guide. The instruction sheet is only a guide to the assembly. Certain items may not be shown to scale.
- Check all components prior to assembly
- Drill all components where indicated.
- This product should be assembled by no less than two people.
- Never attempt to erect the assembly in high winds.



Recommended tools for assembly

- Cross head screw driver
- Drill with 3mm diameter drill bit
- 13mm Spanner

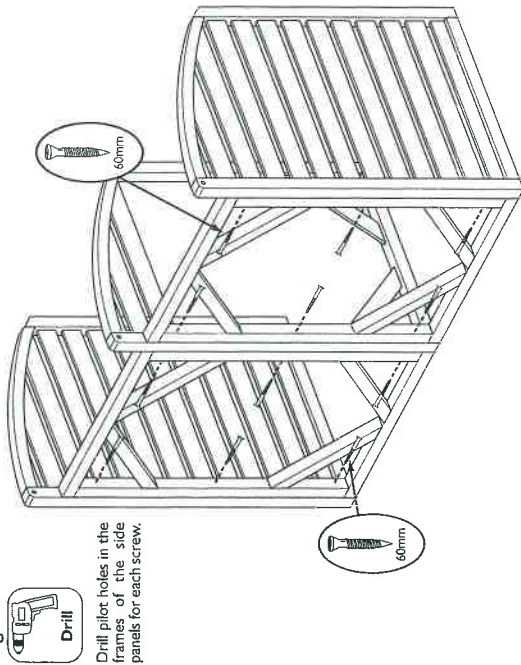


No.	Components	Qty.
1	Base plates	4
2	Side panel	2
3	Centre panel	1
4	Back panel	2
5	Door	2
6	Left lid	1
7	Right lid	1
8	Front rail	2
9	Lid stay	2

No.	Fixing kit	Qty.
10	Hinges	4
11	Slide bolt	2
12	150mm bolt	1
13	100mm bolt	2
14	Nuts	3
15	Washers	3
16	Chain	4
17	60mm screws	12
18	40mm screws	16
19	30mm screws	36
20	15mm screws	4

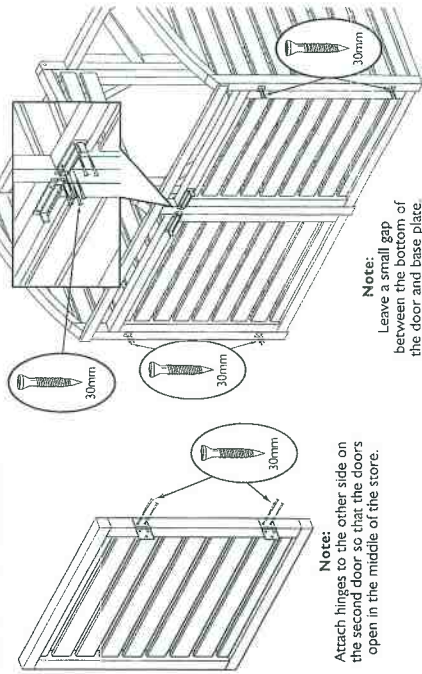
1. Side, centre and back panels

Secure the two side panels, centre panel and two back panels as shown below using 3 x 60mm screws for each join. Ensure all panels are level along the bottom edge.



4. Door

Attach the hinges to the frames of the doors as shown below using 3x30mm screws per hinge. Position the doors between the side panels leaving a small gap between the bottom of the door and the base plate. Secure the hinges to the outer side panels using 3x30mm screws per hinge. For each door position the two parts of the slide bolt as shown below and secure using 6x30mm screws for each bolt set.



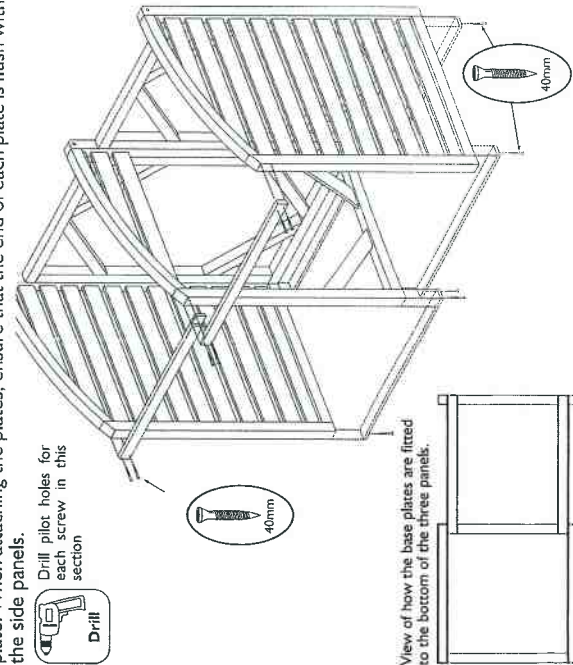
Note:
Attach hinges to the other side on the second door so that the doors open in the middle of the store.

Note:
Leave a small gap between the bottom of the door and base plate.

4. Lid

Position the lids between the side panels as shown. Align the pre-drilled bolt holes and insert a bolt. Secure each bolt with a washer and a nut. Do not over tighten the nuts. Attach two chains to the inside of each lid using 1 x 15 mm screw per chain. Position the chains so that they can be looped round the handles of the bin and hooked back on the chain. Attach the lid stays using 1 x 40mm screws per stay as shown.

Using the bin store
Position the bin inside the store, loop the chains around the handles of the bin and attach the S hook to one of the chain links.



View of how the base plates are fitted to the bottom of the three panels.

PLANNING
29 JUL 200
WYCOMBE DISTRICT

We constantly improve the quality of our products, occasionally the components may differ from the components shown and are only correct at time of printing. We reserve the right to change the specification of our products without prior notice.



REF: ...18... / 05741... / FU-...

ADDITIONAL PLANS

WDC 2

PLANNING
29 JUL 2019
WYCOMBE DISTRICT

Overlap Wallstore Pressure Treated English SS316C

Assembly Instructions



2.9 JUL 2010

WYCOMBE DISTRICT

Before assembly

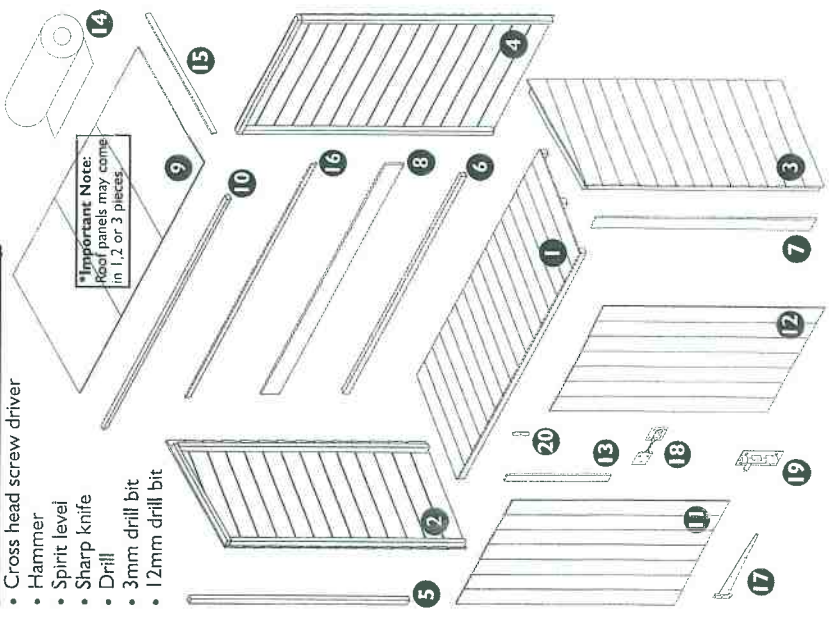
- We recommend that time is taken to read the instructions before starting assembly, then follow the easy step by step guide. The instruction sheet is only a guide to the assembly.
- Certain items may not be shown to scale.
- Check all components prior to assembly
- This product should be assembled by no less than two people
- Drill all components where indicated



Recommended tools for assembly

- Cross head screw driver
- Hammer
- Spirit level
- Sharp knife
- Drill
- 3mm drill bit
- 12mm drill bit

***Important Note:**
Roof panels may come in 1, 2 or 3 pieces

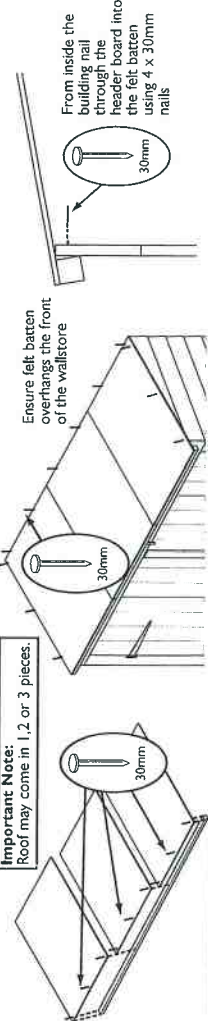


No.	Components	Qty.
1	Floor	1
2	Left side panel	1
3	Right side panel	1
4	Back panel	2
5	Door frame uprights (29x45x1345mm)	2
6	Door header rail (29x35x1690mm)	1
7	Front panel coverstrip (92x12x1365mm)	2
8	Door header board (110x12x1795mm)	1
9	Roof panel (this part may come in 1, 2 or 3 pieces)	3
10	Felt batten (29 x 29 x 1795mm)	1
11	Left-hand door	1
12	Right-hand door	1
13	Door weatherstrip (40 x 12 x 660mm)	2
14	Roofing felt (2m)	1
15	Side bargeboard (40x12x830mm)	2
16	Front bargeboard (40x12x1830mm)	1

No.	Fixing kit	Qty.
17	T-hinges	4
18	Hasp and staple	1
19	Tower bolts	2
20	Turn button	1
21	50mm screws	17
22	25mm screws	47
23	20mm screws	7
24	19mm roundhead screws	17
25	30mm nails	48
26	13mm felt nails	30

7. Roof

Secure the roof panel(s) to the felt batten using 3 x 30mm nails per panel, ensure the roof panel is flush to the edge of the batten. Position the roof on the assembly and secure down using 12 x 30mm nails. From inside the building nail through the door header panel into the felt batten using 4 x 30mm nails.

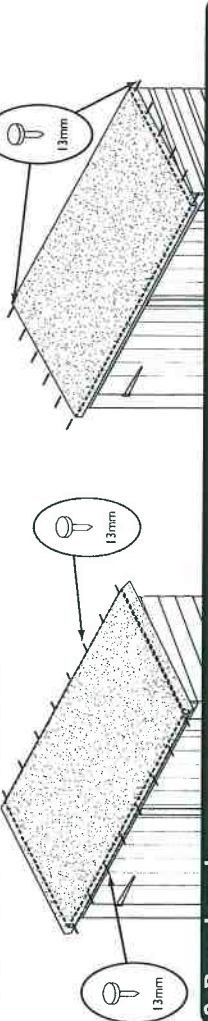


Important Note:
Roof may come in 1, 2 or 3 pieces.

From inside the building nail through the header board into the felt batten using 4 x 30mm nails

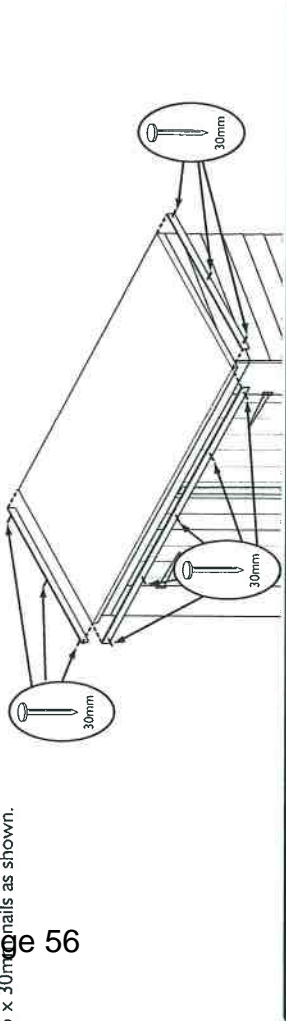
8. Roofing felt

Lay the roofing felt on the roof with an overhang all round. Fold the felt down at the front and secure using 10 x 13mm felt nails to the felt batten. Tension the felt over the roof and fold down at the back and secure to the back panel using 10 x 13mm felt nails. Dress down each end of the felt and secure to the side panels using 6 x 13mm felt nails per end. Once the felt is secure trim of the excess.



9. Bargeboards

Attach a front bargeboard to each side ensure the top and front edges are flush with the roof line and secure each board in place using 3 x 30mm nails. Attach the long bargeboard to the front of the roof make sure it is flush to the roof line use 5 x 30mm nails as shown.



Important information

Pressure treated overlap buildings require no further preservative treatment. However they can be painted or stained if required. Adequate provision must be made to ensure ground contact is avoided and air is able to circulate underneath the building. Placing the building on a concrete pad or slab base is acceptable provided that the building is not allowed to sit in pooled water during wet conditions. If the building is to sit on soil or grass it **MUST** be erected on pressure treated wooden 50mm x 50mm or similar bearers (These are not supplied in the kit). Rowlinson Garden Products recommend using pressure treated bearers with all buildings on any type of base.

Timber Information.
As timber is a natural material, there are certain weather conditions that may affect the materials properties. In times of excessive dry spells the material may lose some of its internal moisture causing a certain degree of shrinkage on a panel and in periods of excessive rain there will be a certain amount of swelling throughout the wooden panels. This process can not be avoided. If you have problems with certain boards shrinking in dry spells try to decrease the amount of direct sunlight on the building or the amount of air passing over the building. During hot spells spray water directly onto the panels with the aid of a garden hose.

If in doubt of any aspect regarding the assembly, use or safety of your building, please contact us:

Help Line: (Normal Office Hours): 01829 261 121

Email: support@rowgar.co.uk

ROWLINSON GARDEN PRODUCTS LIMITED

Green Lane
Wardle Nr. Nantwich
Cheshire
CW5 6BN

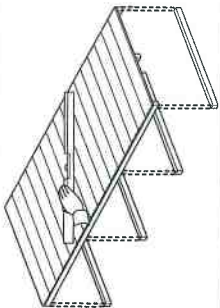
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1. Floor section

Prepare a level area for the wallstore to sit and position the floor panel.



Important note

To "VALIDATE" the guarantee, adequate provision must be made to ensure ground contact is avoided and air is able to circulate underneath the building.

Placing the building on a concrete pad or slab base is acceptable provided that the building is not allowed to sit in pooled water during wet conditions.

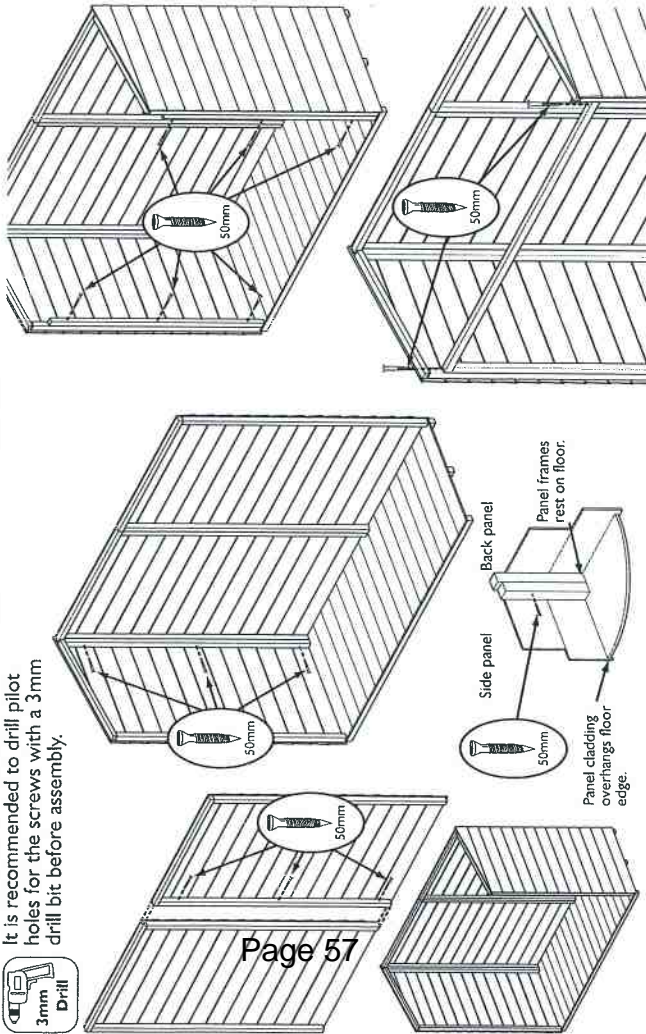
If the building is to sit on soil or grass it **MUST** be erected on pressure treated wooden 50mm x 50mm or similar bearers (**These are not supplied in the kit**).

Rowlinson Garden Products recommend using pressure treated bearers with all buildings on any type of base.

2. Wall panels

Secure the two back panels together as shown using 3 x 50mm screws. Position the back panel and the left side panel on the floor. Note how the panel frames sit on the floor with the panel cladding overhanging the floor edge. Ensure square and secure using 3 x 50mm screws, screw through the frame of the side panel, into the frame of the back panel. Repeat for other side panel. Secure the door frame uprights to the framing of the side panels as shown using 3 x 50mm screws per upright. Position the door header rail on top of the door frame uprights and secure using 1 x 50mm screw at each end. Screw down through the header rail into the ends of the uprights.

It is recommended to drill pilot holes for the screws with a 3mm drill bit before assembly.

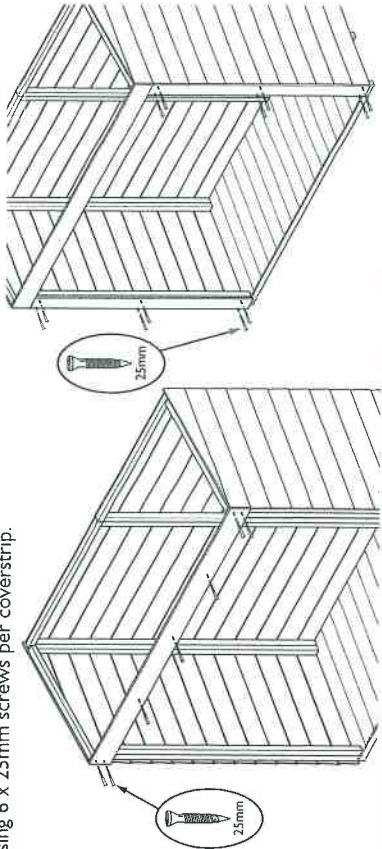


4. Front paneling

Fit the door header board to the front of the assembly, ensure that it is flush to the top of the side panels and secure using 7 x 25mm screws. Attach the front coverstrips underneath the header board and flush to the outer edge of the side panels. Secure using 6 x 25mm screws per coverstrip.

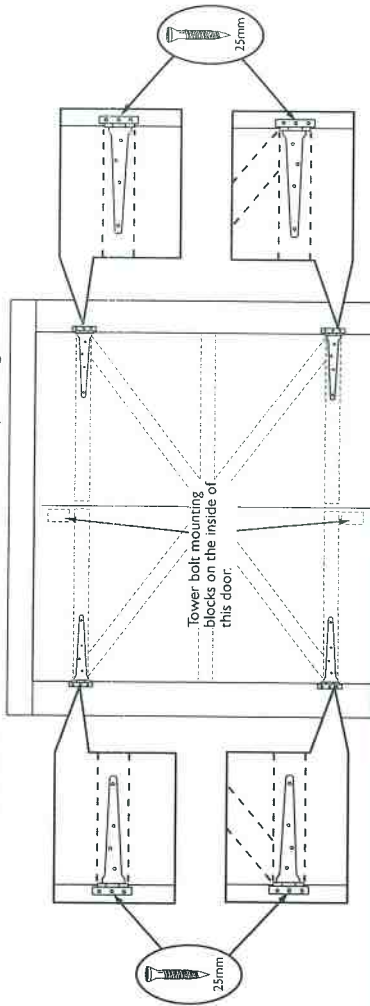


It is recommended to drill pilot holes for the screws with a 3mm drill bit before assembly.



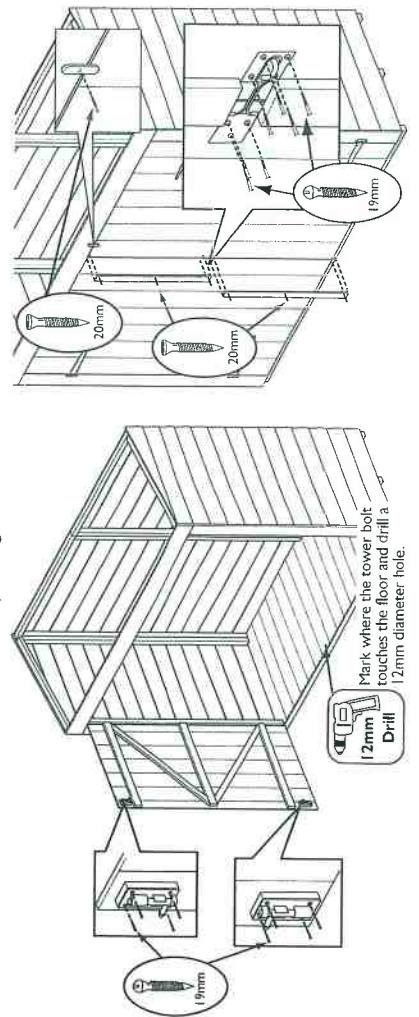
5. Doors

Lay the assembly on its back. Place the doors in the door opening, ensure they are sitting centrally. Note the inside of the left door has the two pre-fitted block for the tower bolts. With the doors in place align the hinges to the door bracing and secure to the door and the front panels using 7 x 25mm screws per hinge.



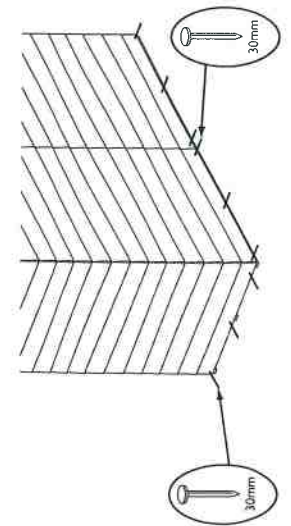
6. Door fittings

Secure the tower bolts to the mounting blocks using 4 x 19mm roundhead screws per bolt. With the doors shut, position a door coverstrip so it overlaps both doors and is flush at the top of the doors, secure only to right-hand door using 3 x 20mm screws. In the same way fix the other door coverstrip flush to the bottom of the door using 3 x 20mm screws. Fit the hasp and staple between the two coverstrips using 7 x 19mm screws as shown below.



3. Securing the panels to the floor

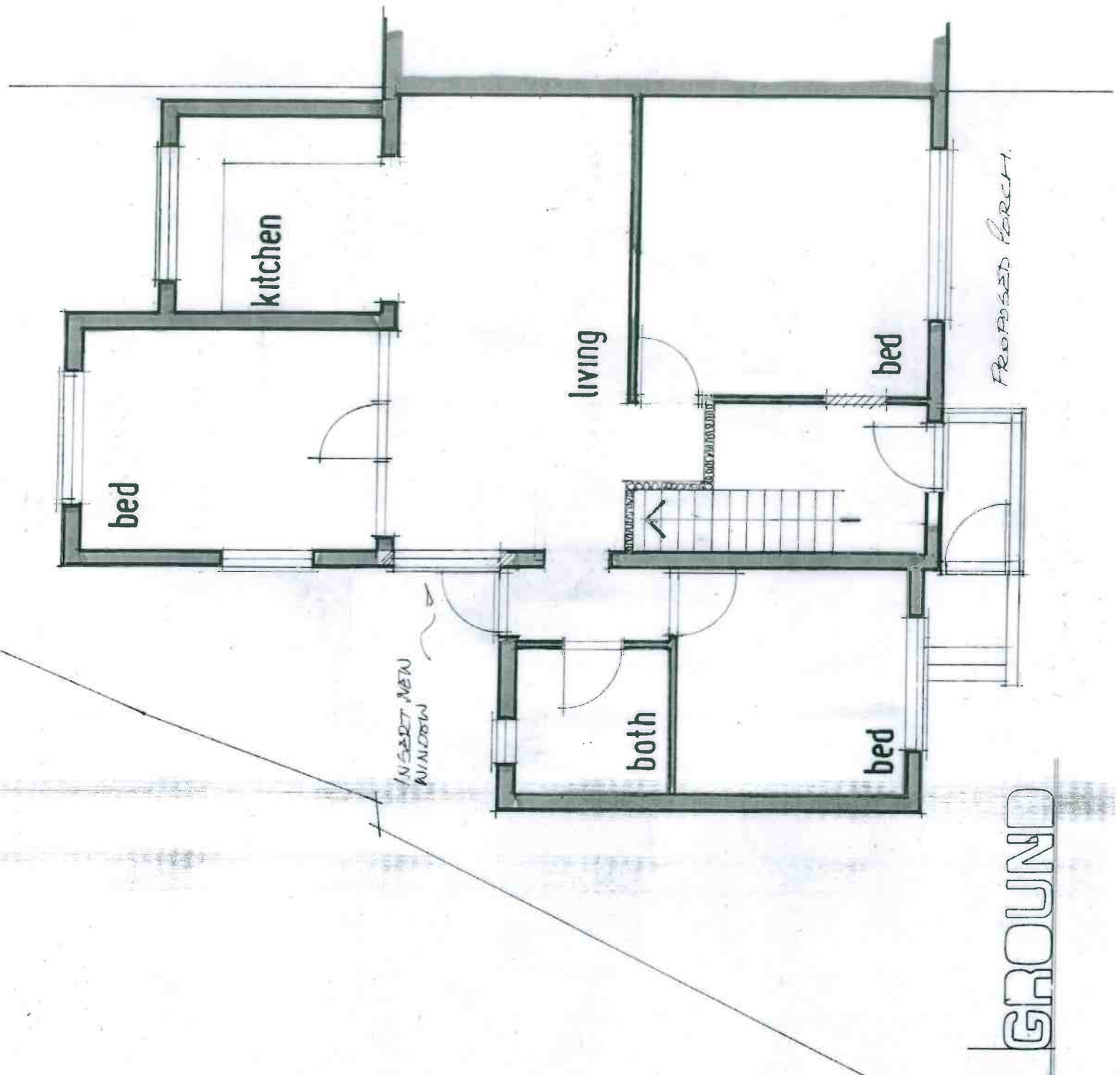
From the outside of the assembly secure the panels to the floor using 3 x 30mm nails per panel, nail through the panel overhang into the floor.



Ref: 18 / 05741 / Full
SUPERSEDED



Revisions	
Client	M R A J F
Project	1 MILLARY CLOSE HAH WYCOMBE
Drawing	GROUND FLOOR
Tim Isaac Dip. Arch, MCIAT, ATF Architectural Design Services 80 Fairview Road, Taplow, Maidenhead, Berkshire SL6 0NQ Tel: 01628 628771	
Drawn	T Isaac
Date	Ms 20.7
Scale	1:50
Drawing Number	1185/01
Revision	

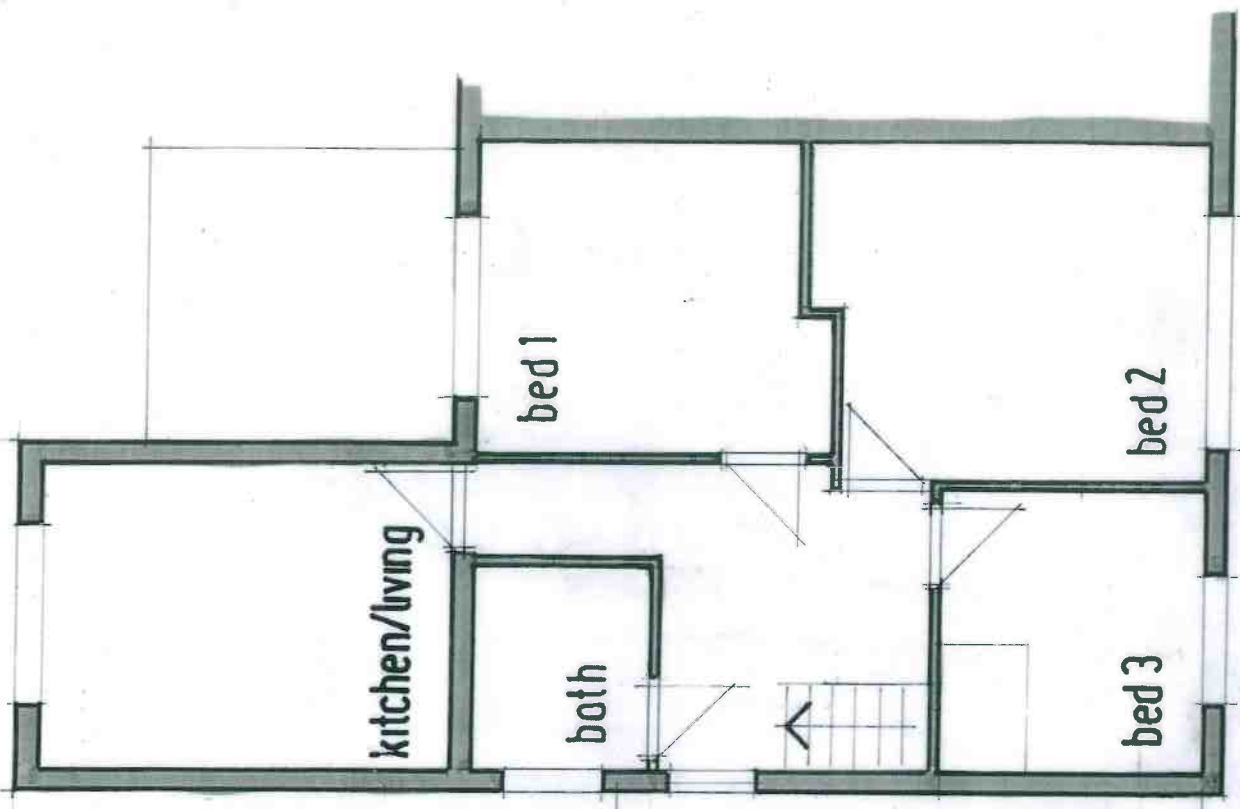


Ref: 18 / 05741 / FUL
SUPERSEDED

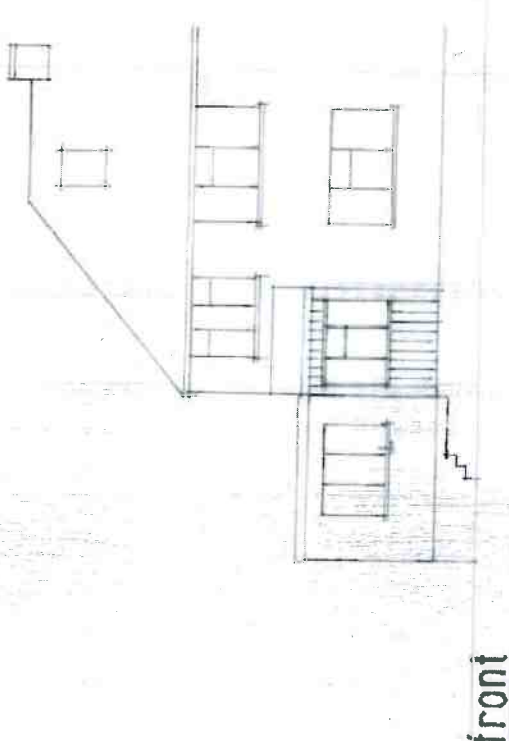


scale 1:50 paper a3

Revisions	
Client	MR. ARIF
Project	1 HILARY COOSE HEIL WYCOMBE
Drawing	FIRST FLOOR
Tim Isaac Dip. Arch, MCIAT, ATP Architectural Design Services 80 Fairview Road, Taplow, Maidenhead, Berkshire SL6 0NQ Tel: 01628 662971	
Drawn	Asaan Date 12/7/2017
Scale	1:50
Drawing Number	1185/02
Revision	



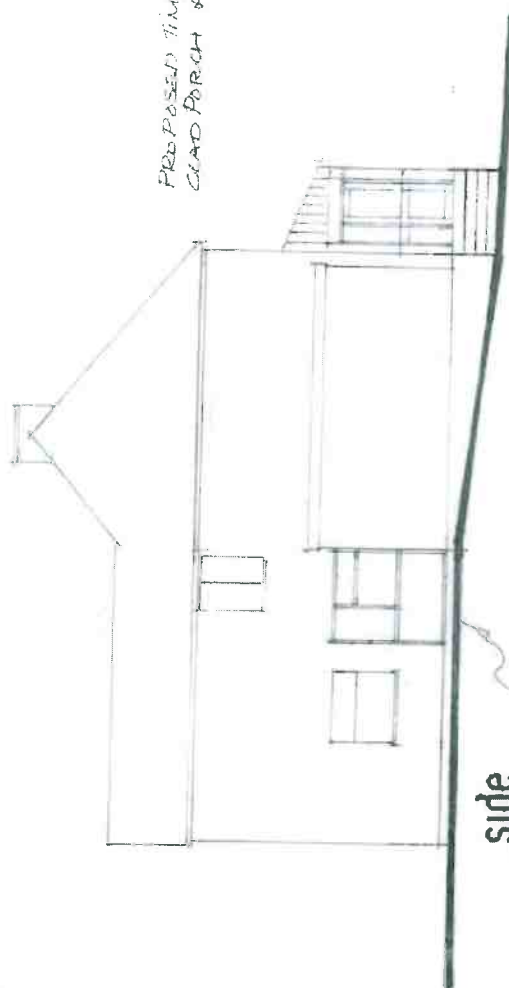
FIRST FLOOR



front



rear



side

INSERT NEW WINDOW



scale 1:100 paper a3

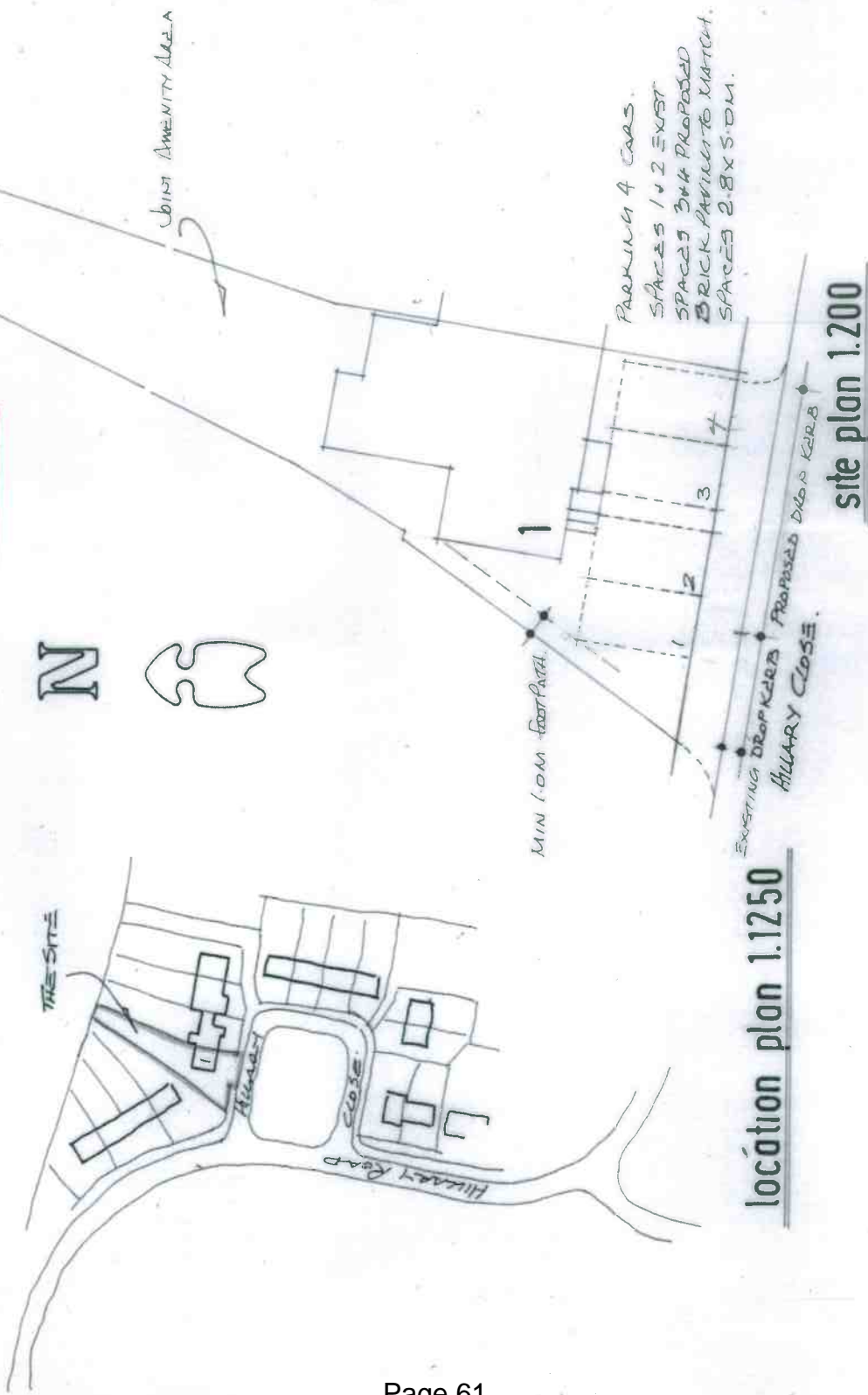
Ref: 18 / 05741 / FUL
SUPERSEDED

side
 Ref: 18 / 05741 / FUL
AMENDED
 Rev A Aug 2019
 RSC-WINDANS ARCHTS.

Revisions	
Client	MR. SAIF
Project	1 HARVEY CLOSE HIAH-NYCOMBE
Drawing	ELEVATIONS
Tim Isaac No. 4611, 4612, 4613, 4614 Architectural Design Services 80 Fairview Road, Toplew, Mandurah, WA 6150 Perthshire 51 800 844 Tel: 08 959 66577	
Drawn	T. Isaac
Date	1:100
Scale	
Drawing Number	1185/03
Revision	2

ELEVATIONS

Ref: 18.05741 Full
SUPERSEDED



Ref: 18.05741/R
AMENDED

REV A MAY 2015
 RED LINE TO LOCATION PLAN
 REVISED.

1	0	1	2	3

scale 150 paper a3

Revisions	Client	Project	Drawing
	MR ARIF	HILLARY CLOSE HIGH WYCOMBE	LOCATION & SITE PLANS
Tim Isaac Dip Arch, MCLAT, ATP. Architectural Design Services 88 Fairview Road, Taplow, Maidenhead, Berkshire SL6 0NQ Tel: 01228 623971			
Drawn	Date	Scale	Revision
ASAC		1:1250 1:200	1185/06
Drawing Number			

LOCATION SITE PLANS

Agenda Item 7.

Contact: Jenny Ion DDI No. 01494 421599

App No : 17/06820/FUL App Type: Full Application

Application for : Change of use of land to provide an Air Rifle range with erection of range compound building, siting of storage container & WC, erection of boundary fencing & creation of car parking for 10 cars (Retrospective)

At Aldridge Grove, Hampden Road, Denner Hill, Buckinghamshire

Date Received : 08/08/17 Applicant : Mr C Allum - Wendover Air Rifle Club

Target date for Decision 03/10/17

1. **Summary**

- 1.1. Planning permission is sought for the change of use of land to allow its use as an air rifle range. This includes the erection of a timber building, the siting of a storage container and w.c., the erection of fencing and the formation of a parking area. The application is retrospective.
- 1.2. The application is recommended for refusal on the grounds of harm to the openness of the Green Belt, to ecology, highway safety, the AONB and amenity.

2. **The Application**

- 2.1. The site is located in an area of woodland on sloping ground on the side of a valley. Access is from Hampden Road, using a gated access which originally gave access to the wood for forestry purposes. The main part of the site is reached via a track up the hill, through the trees.
- 2.2. The main range area is within an area of trees approximately 22 x 60 metres, which is fenced off from the surrounding woodland. The north east end of the range is fenced using timber boarding, as is the area adjacent to the range building. The remaining fencing is green netting. At the eastern end of the range area is an open fronted timber building measuring 5.3 x 12.1 metres with a very shallow pitched roof up to a height of 3.1 metres. It is from this building that people fire at metal targets fixed within the woodland.
- 2.3. Adjacent to the track, to the north west of the range, a parking area has been created under the trees, and a metal storage container is also sited in this area. The container measure 6 x 2.4 metres and is 2.5 metres high.
- 2.4. The details submitted with the application indicate that the site is used by Wendover Air Rifle Club who meet for two hours on a Wednesday evening (6-8pm) and six hours on a Saturday (8am-2pm). The club hopes to extend this to 6-8pm on all week days as well as retaining the same hours on a Saturday.
- 2.5. The Club has a membership of about 50, with capacity to increase to 70. On average 15 members attend on Wednesday and 40 on Saturdays. The range has sufficient space for up to 12 people to operate at any one time.
- 2.6. The container is used to store tools, paint, targets and the like, but no rifles are stored on site.
- 2.7. The site is located in the Green Belt and Chilterns Area of Natural Beauty.

- 2.8. The area of woodland between the road and the main range area, and through which the access passes, is designated as Ancient Woodland. The range building is within the buffer zone to the ancient woodland.
- 2.9. The application is accompanied by:
 - a) Planning, Design and Access Statement.
 - b) Ecology Survey.
- 2.10. The ecology survey was submitted during the course of the application following initial comments made by the Council's Natural Environment Officer.

3. **Working with the applicant/agent**

- 3.1. In accordance with paragraph 38 of the NPPF2 Wycombe District Council (WDC) approach decision-taking in a positive and creative way taking a proactive approach to development proposals focused on solutions and work proactively with applicants to secure developments.
- 3.2. WDC work with the applicants/agents in a positive and proactive manner by offering a pre-application advice service, and as appropriate updating applications/agents of any issues that may arise in the processing of their application.
- 3.3. In this instance
 - The applicant did not seek pre-application advice or enquire whether planning permission was required.
 - the applicant/agent was updated of any issues after the initial site visit,
 - The applicant was provided the opportunity to submit additional information relating to ecology.

4. **Relevant Planning History**

- 4.1. 16/06929/PNP6E – Prior notification application (Part 6, Class E) to re-surface existing agricultural track. Application refused.
- 4.2. 16/07342/PNP6E – Prior notification application (Part 6, Class E) to re-surface existing agricultural track. Prior approval of details not required. 19.9.16
- 4.3. An enforcement complaint was received on 24 January 2017 which alleged the erection of an outbuilding in woodland, removal of trees, laying of roadway and construction of a firing range.

5. **Issues and Policy considerations**

Principle and Location of Development

DSA: DM1 (Presumption in favour of sustainable development),
 New Local Plan: CP1 (Sustainable Development), DM33 (Managing Carbon Emissions, Transport and Energy Generation), DM42 (Managing Development in the Green Belt)

- 5.1. The site is located in the Green Belt where inappropriate development is unacceptable in principle.
- 5.2. Paragraph 145 of the NPPF sets out the types of development which are appropriate. These include **“the provision of appropriate facilities (in connection with the existing use of land or a change of use) for outdoor sport, outdoor recreation, ...; as long as the facilities preserve the openness of the Green Belt and do not conflict with the purposes of including land within it”**.

- 5.3. Recreational use of land by itself is not necessarily inappropriate in the Green Belt. However the NPPF states that the provision of facilities in connection with that use is only appropriate if they preserve the openness of the Green Belt and do not conflict with the purposes of including land within it. The latter includes protecting the countryside from encroachment.
- 5.4. In this case to facilitate the use a sizeable timber structure has been erected, in excess of 60 square metres, together with the siting of a storage container and portable toilet. There is also associated paraphernalia such as tables and chairs and the fencing enclosure.
- 5.5. When assessing “openness” in the Green Belt this is a measure of the presence or absence of built form. It is not a measure of how much something can be seen.
- 5.6. Previously there were no buildings within the site and the erection of the timber building and the container do therefore fail to preserve the openness of the Green Belt. The erection of fencing around the enclosure also results in encroachment. As such they cannot be regarded as appropriate development and are by definition harmful to it.
- 5.7. There are not any special circumstances apparent which would outweigh this harm.

Transport matters and parking

New Local Plan: CP7 (Delivering the infrastructure to support growth), CP12 (Climate Change), DM33 (Managing Carbon Emissions, Transport and Energy Generation)

- 5.8. The Highway Authority has advised that the existing access does not meet the required construction standard for the proposed use, and that the development intensifies the use of the access where visibility is currently substandard.
- 5.9. Historically the access has provided access to the land for forestry purposes only. This generally requires less frequent access, as and when inspection of the woodland is needed or timber is being removed.
- 5.10. It is noted, however, that the Highway Authority has indicated that visibility could be improved by cutting back vegetation within the highway. Had the development otherwise been acceptable this is an issue which could have been addressed by condition, as could the upgrading of the access specification. This latter change would however have implications in terms of visual impact.
- 5.11. The application includes an area for parking within the woodland. This is informally surfaced and laid out. The application description indicates that the parking area has capacity for 10 cars. In view of the information provided about club numbers there is concern that this level of parking is not sufficient. Club membership is said to be 50, with potential for further growth, with on average 15 members attending in the evening and 40 at the weekend.
- 5.12. Should this capacity not be sufficient it will either require further encroachment into the woodland (addressed elsewhere in the report) or it could result in displacement onto the road, which, in this location, would not be acceptable on highway safety grounds.
- 5.13. The site is located in a rural area which is not served by public transport. Access is via unlit rural lanes. Policy CP12 of the Local Plan indicates that the Council will promote mitigation and adaptation to climate change through a development strategy that minimises the need to travel by generally directing development to locations with better services and facilities, or where they are capable of being improved. This is in line with paragraph 103 of the NPPF.
- 5.14. Policy DM33 similarly supports this objective, requiring development to be located to provide safe, direct and convenient access via sustainable transport modes. Recently the Council has been supported at appeal by Inspectors where development has been refused

on sustainability grounds due to the site being in a rural location with little or no public transport which would result in reliance on the private car. Whilst these have generally been proposals for residential development the same principle applies to this type of development.

- 5.15. It is recognised that this type of development may not be suited to an urban area, but there are rural areas which are better located in relation to more sustainable transport choices. The proposal is therefore considered to be in an unsustainable location.

Amenity of existing residents and the surrounding area

New Local Plan: DM35 (Placemaking and Design Quality)

- 5.16. The site itself is not adjoined by existing dwellings, however there are a small number of houses on the opposite side of the lane. Representations have been received from these properties and from an adjoining piece of land, which is used for informal recreation. These raise objections on the grounds of noise and disturbance.
- 5.17. The main potential impact on neighbours arises from the activity and potential noise and disturbance. There are not any issues relating to privacy or light. The main issues raised by neighbours are the noise of shot hitting the metal targets, noise from club members (such as cheering) as well as vehicular traffic.
- 5.18. The site is located in a partially wooded valley. Other than noise from traffic using the lane it is a relatively quiet area, being mainly used for agriculture and forestry. When considering the impact of recreational use in the countryside care must be taken to safeguard the beauty and peace of the countryside, whilst recognising its recreational potential.
- 5.19. The NPPF advises at paragraph 180 that **“decisions should also ensure that new development is appropriate for its location taking into account the likely effects (including cumulative effects) of pollution on health, living conditions and the natural environment, as well as the potential sensitivity of the site or the wider area to impacts that could arise from the development. In doing so they should: ... identify and protect tranquil areas which have remained relatively undisturbed by noise and are prized for their recreational and amenity value for this reason.”**
- 5.20. Some forms of countryside recreation can be undertaken with relatively little impact in terms of noise and disturbance such as walking, horse riding, cycling. The rifle shooting range introduces a competitive sport which is a static activity attracting larger groups of people. Consequently the noise related to this activity (such as that described by nearby residents), does have an adverse impact on the amenities of both residents and those using the footpath network in the vicinity. It introduces noise and disturbance into what was hitherto a relatively quiet and tranquil area in the countryside.

Environmental issues

New Local Plan: CP7 (Delivering the infrastructure to support growth), DM20 (Matters to be determined in accordance with the NPPF)

- 5.21. Levels of noise associated with the use would not amount to a statutory nuisance, although they do have an impact on amenity as outlined above.
- 5.22. The site is used in the evenings throughout the year and some lighting will therefore be necessary in connection with the use. The site is located in an area where there is no street lighting and the skies are therefore quite dark.
- 5.23. Whilst intervening woodland may screen lighting from the road the introduction of lighting would have an impact on the otherwise dark sky and the landscape. Paragraph 180 of the

NPPF states that development should “**limit the impact of light pollution from artificial light on local amenity, intrinsically dark landscapes and nature conservation**”.

- 5.24. Little information is given about disposal of waste. There is a portable toilet on the site – this is generally a more appropriate solution for a temporary use. It is not clear if a more permanent solution is available given that the site is unlikely to be connected to a water supply and is not connected to mains drainage.
- 5.25. It is also not clear how refuse is disposed of given the distance from the road. Refuse would need to be transported from the site to an accessible collection point.

Raising the quality of place making and design& Landscape and visual Impact

DSA: DM11 (Green networks and infrastructure),
New Local Plan: CP9 (Sense of place), DM30 (Chilterns Area of Outstanding Natural Beauty), DM32 (Landscape character and Settlement Patterns), DM34 (Delivering Green Infrastructure and Biodiversity in Development), DM35 (Placemaking and Design Quality)

- 5.26. The site is located in the Chilterns AONB. Great weight should be given to conserving and enhancing its landscape and scenic beauty, and the conservation and enhancement of wildlife and cultural heritage is also important (para. 172 NPPF). Local policies create an expectation that only the highest standards or design and materials will be acceptable.
- 5.27. The main rifle range building is a timber clad structure with monopitch roof. It is a fairly functional building in terms of its design, but its materials area appropriate to this woodland location.
- 5.28. By contrast the container, despite attempts to camouflage it, is not the type of building encouraged in such a sensitive landscape. Similarly, the portable toilet does nothing to enhance the landscape.
- 5.29. The range area is surrounded by a mixture of timber fencing and green mesh type fencing. The former appears more permanent, whereas mesh has the potential to be removed whilst the range is not in use. Generally this sort of solid fencing is discouraged in the AONB, where more appropriate types of boundary treatment are preferred.
- 5.30. Whilst the need for some form of enclosure for safety reasons is understood, to prevent incursions into the range whilst it is in use, there are potentially more suitable forms of fencing / screening which could be used, such as wattle hurdles.
- 5.31. The buildings and fencing are largely screened from public vantage points by the surrounding trees, therefore, whilst they have shortcomings in design terms their visual impact on the wider landscape is limited.
- 5.32. There are other impacts on the AONB, notably noise and disturbance from the associated activity and the impact of lighting, which affect the tranquillity of the area and the dark skies. These issues are discussed in more detail in other parts of the report. The conclusions reached in those sections support a finding that there is detriment to the conservation and enhancement of the AONB landscape and its enjoyment.
- 5.33. Reference has been made in the representations to removal of trees from the area. The trees are not protected by a preservation order and the removal of anything more than a small quantity of timber is regulated by the Forestry Commission through the forestry licence process. It is not, therefore, a breach of planning control, to fell trees in relation to woodland management, nor is it the role of the LPA to enforce any breaches of the forestry licencing process.
- 5.34. Prior to this development being carried out the landowner sought prior approval for the resurfacing of the existing track in relation to management of the woodland. At that time the applicant indicated that they intended to remove some timber from the managed area

of woodland. This includes the area of the rifle range and its parking area and required the track to be improved to facilitate access to carry out this work.

Green networks and infrastructure & Ecology

DSA: DM11 (Green networks and infrastructure, DM13 (Conservation and enhancement of sites, habitats and species of biodiversity and geodiversity importance), DM14 (Biodiversity in development)

New Local Plan: CP9 (Sense of place), DM34 (Delivering Green Infrastructure and Biodiversity in Development)

- 5.35. The band of woodland between the road and the main part of the site, and through which the access route passes, is designated as Ancient Woodland. The car park area and the range building are located within the 15 metre buffer zone around the ancient woodland.
- 5.36. An ecology report was not originally submitted with the application but one was prepared and submitted following the original observations made by the Council's Natural Environment Officer. The Natural Environment Officer has reviewed that report and provided comments, which are set out in full in the appendix to this report. He has concluded that the proposal is unacceptable on ecological grounds.
- 5.37. The development is within the Ancient Woodland and the buffer zone. The main concerns are the increased use of the 'forestry' track through the woodland and use of the shooting range, which will cause a significant negative impact to the ancient woodland. This is contrary to Natural England's Standing advice and there are likely to be multiple detrimental impacts upon the ecology of this important priority habitat.
- 5.38. Policy DM13 of the DSA provides the Policy context for development which affects sites, habitats and species of biodiversity importance, and Policy DM14 requires all development to maximising biodiversity. All development proposals which affect identified biodiversity interests must be accompanied by an ecological survey which demonstrates how these impacts will be addressed.
- 5.39. National policies relating to conserving and enhancing the natural environment and habitats and biodiversity can now be found at paragraphs 170 – 172 and 174 – 177 of the NPPF (Feb 2019). Natural England and Forestry Commission's Standing Advice on Ancient Woodland is also of great relevance.
- 5.40. The potential impacts to nature conservation arise from various aspects of the development, including: vehicular activity – compaction of soils, headlights, noise, pollution; noise from shooting – the rifles, hitting targets, human activity; introducing light into the woodland during hours of darkness; lead shot on the woodland floor; fencing – preventing passage of wildlife.
- 5.41. The track through the ancient woodland affects the special nature of the soil through introduction of materials and compaction. Vehicular traffic introduces chemical, noise, smell and light pollution – the route of the track cuts diagonally through the woodland causing a degree of fragmentation. Should the use of the club expand then additional parking is likely to be required within the woodland, extending the area of soil which is exposed to pollution and compaction.
- 5.42. The main part of the development is within the 15m buffer. Development has included scraping away of woodland soil, importation of granular stone material to form the parking areas and the erection of timber structures and placement of a shipping container. This will have damaged the valuable soils and the soil fauna and some of the trees growing there. If this is not reinstated that this will permanently alter the way in which wildlife uses the woodland.

- 5.43. The activity associated with the use also has a negative impact. Cars and people making chemical, noise and light pollution on the edge of the Ancient Woodland, but in a central location within the wider woodland will mean that more sensitive wildlife will be repelled and confined to smaller areas. This will have a negative impact upon the functioning of the habitat.
- 5.44. The shooting range extends perhaps 30 metres beyond the Ancient Woodland buffer, the impact of this includes the distribution of poisonous lead into the woodland, the loud noise of air guns being fired and targets being hit and the physical aspect of targets, fencing and the like which have been installed within the area.
- 5.45. The extent of the impact has not been fully addressed in the report and mitigation and compensation have only be touched upon with regards to the avoidance of shooting wild animals and trees and the suggestion that lead pellets could be collected. Neither of these measures could be effectively enforced.
- 5.46. The development is found to cause harm to the natural conservation interests of the site.
- 5.47. Part 2 of DM13 suggests that harm to sites such as this would only be permitted, if:
- i. there is no alternative;
 - ii. the impact can be mitigated or compensated; and,
 - iii. that it has been clearly demonstrated that the benefits of the development outweighs the harm.
- 5.48. Part 3 of DM13 goes on to require reports relevant to the wildlife impacts to be submitted. The harm in relation to the site have not been properly addressed. Some are directly related to the Ancient Woodland some are related to development within the 15m buffer and some are related to what happens beyond. Furthermore, some impacts are directly related to the physical development and some are related to its use. These impacts have not been fully addressed and so part 3 of the policy has not been complied with.
- 5.49. The Council's Natural Environment Officer's view is that there is harm caused to the conservation interest. It is therefore necessary to consider whether there are circumstances where development may be permitted despite that harm, under part 2 of DM13.
- 5.50. The applicant's rent the land from the Hampden Estate. It has not, therefore, been demonstrated that there is no other suitable alternative site, either within that estate, or on land owned by others. Part 2a of DM13 is not satisfied.
- 5.51. Only some of the impacts of the development could be mitigated, and there will be a net loss in biodiversity, therefore the requirement of part 2b of DM13 is not satisfied. In relation to 2b: only a small number of the impacts could be mitigated as a result of this application.
- 5.52. Whilst there may be some social benefits to club members from the development, it has not been demonstrated that the benefits of this development outweigh the harm to biodiversity and nature conservation interests.
- 5.53. Overall, in relation to DM13 it is clear that this application does not maximise biodiversity and in fact has detrimental impacts. This position is supported by paragraph 175 of the NPPF which states that **"development resulting in the loss or deterioration of irreplaceable habitats (such as ancient woodland and ancient or veteran trees) should be refused, unless there are wholly exceptional reasons and a suitable compensation strategy exists."** **"Wholly exceptional reasons"** refers to things such as nationally significant infrastructure projects, where public benefit would clearly outweigh the loss or deterioration of habitat. This does not apply here.

5.54. The development is also contrary to Natural England and Forestry Commission Standing Advice and should therefore be refused.

Infrastructure and Developer Contributions

DSA: DM19 (Infrastructure and delivery)

New Local Plan: CP7 (Delivering the infrastructure to support growth)

5.55. The development is not a type of development where CIL would be chargeable. It is considered that there would not be other types of infrastructure that will be put under unacceptable pressure by the development to justify financial contributions or the direct provision of infrastructure.

Weighing and balancing of issues – overall assessment

5.56. This section brings together the assessment that has so far been set out in order to weigh and balance relevant planning considerations in order to reach a conclusion on the application.

5.57. In determining the planning application, section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. In addition, Section 143 of the Localism Act amends Section 70 of the Town and Country Planning Act relating to the determination of planning applications and states that in dealing with planning applications, the authority shall have regard to:

- a) Provision of the development plan insofar as they are material
- b) Any local finance considerations, so far as they are material to the application (in this case, CIL)
- c) Any other material considerations

5.58. As set out above it is considered that the proposed development would conflict with a number of development plan policies.

Recommendation: Refuse Permission

1. The erection of the timber building, the container and fencing in association with the use have a detrimental impact on the openness of the Green Belt and result in encroachment into the countryside. As such they represent inappropriate development in the Green Belt and are, by definition, harmful to it. There are not any very special circumstances apparent which would outweigh this harm.
The development is therefore contrary to DM42 (Managing Development in the Green Belt) of the new Wycombe District Local Plan (August 2019).
2. The location of the site is such that it has only limited access by non-car modes of travel. The absence of adequate infrastructure and the sites remoteness from major built up areas is such that it is likely to be reliant on the use of the private car contrary to local and national transport policy. Furthermore, the applicant has not demonstrated that there is adequate parking for existing and proposed levels of use. The development, if permitted, would therefore be likely to lead to additional on-street parking and to vehicles reversing onto or off of the highway to the detriment of public and highway safety.
The development is contrary to policies CP12 (Climate Change) and DM33 (Managing Carbon Emissions, Transport and Energy Generation) of the new Wycombe District Local Plan (August 2019) and the guidance in Paragraph 103 of the NPPF (2019).

3. The use of the land as an air rifle range, and the associated activity, introduces noise and disturbance into what was hitherto a quiet and tranquil area of the countryside, to the detriment of the amenities of nearby residents and users of the wider area in general.
As such the development is contrary to Policies DM20 (Matters to be determined in accordance with the NPPF) and DM35 (Placemaking and Design Quality) of the new Wycombe District Local Plan (August 2019) and the guidance in Paragraph 180 of the NPPF (2019).
4. The container, portable toilet and fencing fail to achieve the high standard of design, materials and appearance which are expected within the Chilterns AONB. Furthermore, the introduction of the use with the associated noise and disturbance and lighting have an adverse impact on the tranquillity and dark skies of this part of the Chilterns AONB. As such the development fails to conserve and enhance the AONB landscape and its enjoyment. The proposal is therefore contrary to Policy DM30 (Chilterns Area of Outstanding Natural Beauty) of the new Wycombe District Local Plan and the guidance in Paragraph 172 of the NPPF (2019).
5. The change of use and associated operational development, by virtue of the introduction of vehicular and human activity into the woodland, part of which is designated as Ancient Woodland, and part of which is within a 15 metre buffer to the Ancient Woodland, has a detrimental impact on the ecological and nature conservation interests of the site.
The development is therefore contrary to Policies DM11 (Green networks and infrastructure, DM13 (Conservation and enhancements of sites, habitats and species of biodiversity and geodiversity importance) and DM14 (Biodiversity in development) of the adopted Delivery and Site Allocations Plan (July 2013), DM34 (Delivering Green Infrastructure and Biodiversity in Development) of the new Wycombe District Local Plan and the guidance in paragraphs 170 - 172 and 174 - 177 of the NPPF (Feb 2019).

INFORMATIVE

- 1 In accordance with paragraph 38 of the NPPF Wycombe District Council (WDC) approach decision-taking in a positive and creative way taking a proactive approach to development proposals focused on solutions and work proactively with applicants to secure developments. WDC work with the applicants/agents in a positive and proactive manner by offering a pre-application advice service, and as appropriate updating applications/agents of any issues that may arise in the processing of their application.

In this instance the applicant did not seek pre-application advice. The applicant was provided the opportunity to submit additional information relating to ecology.

17/06820/FUL

Consultations and Notification Responses

Ward Councillor Preliminary Comments

Councillor Graham Peart - Can you give me your thoughts on this application please? It is not a simple decision so if you are thinking of a refusal I may consider requesting that it be determined by committee. Local sentiment is that the club should be able to continue.

Further Comments:

Thank you for the Delch report that is well constructed and easy to read.

I carefully read all the documentation and then made an unannounced site visit that happened to be on an evening when around a dozen scouts and their parents were enjoying an introduction to the sport of air rifle shooting. There was no noise or light pollution, around 10 cars in the car parking area and there was great joy from all attending for being able to experience a new activity in ideal surroundings. The site was tidy, unlit and well managed on the evening. It is so well camouflaged by the holly thicket that I was unaware of the facility until this visit.

Subsequently I reviewed the paperwork and I have to conclude that the objections to this application in the Delch report and the neighbours comments are overstated particularly when describing the supposed harm to the environment and wildlife that appears to be minimal or non-existent and in any case, some further mitigation is possible that could be dealt with by conditions. The conditions could include complete removal of the shelter if the club ceased to operate there, something that I would like to see imposed for the longer term.

The club is well established and very tightly run with regards to safety, safeguarding and general standards and has a number of members who compete at a high level. It has some older members whose only activity outside of home is shooting. There are a number of young and older members who are significantly disabled and this club is an extremely important part of their activities.

The recent report on social isolation and loneliness in Bucks by the Director of Public Health, identified social isolation as a problem for some older residents in rural areas and loneliness felt by a significant number of young people living in towns. Clubs such as the Wendover Air Rifle Club and the Whiteleaf Bowmen who also offer similar social and sporting activity in another part of my ward are very important facilities to provide recreation and social interaction especially for those who are not interested in more mainstream activities. I note that the Whiteleaf Bowmen have a very visible full clubhouse built in a field within AONB while the Wendover Air Rifle Club only require a simple open sided shelter that is not visible to anyone unless they visit the site.

Therefore I suggest that any supposed harm to the environment is minor and is heavily outweighed by the wider positive benefits to the community.

I request that this matter is determined by the Planning Committee, a format that will allow a wider debate on the issues raised in the Delch report.

Parish/Town Council Comments/Internal and External Consultees

Great and Little Hampden Parish Council

Comments: None received.

Ecological Officer

Comments: Development is within Ancient Woodland 15m buffer, the increased use of the 'forestry' track through the woodland and use of the shooting range will cause a significant negative impact to the ancient woodland and this is contrary to Natural England's Standing advice. A preliminary ecological survey would need to be forthcoming to assess the ecological impact of the proposals. There is likely to be multiple detrimental impacts upon the ecology of this important priority habitat.

Additional comments:

A Preliminary Ecological Appraisal has been submitted which identifies the vegetation growing on the site and evidence of animal species on and around the site.

Two key local policies are relevant to the proposal DM13 'Conservation and enhancement of sites, habitats and species of biodiversity and geodiversity importance' and DM14 'Biodiversity in development'. Natural England and Forestry Commission's Standing Advice on Ancient Woodland is also of great relevance. DM 13 is relevant as the track leading to the site is through Ancient Woodland and a large part of the development (buildings, container and hard surfaced car parking) is within the 15m buffer.

Part 2 of DM13 suggests that harm to sites such as this would only be permitted, if 1, there is no alternative, 2 the impact can be mitigated or compensated and 3, that it has been clearly demonstrated that the benefits of the development outweighs the harm.

Part 3 of DM13 goes on to require reports relevant to the wildlife impacts to be submitted. The harm in relation to the site have not been properly addressed. Some are directly related to the Ancient Woodland some are related to development within the 15m buffer and some are related to what happens beyond. Furthermore, some impacts are directly related to the physical development and some are related to its use. These impacts have not been fully addressed and so part 3 of the policy has not been complied with.

The track through the ancient woodland affects the special nature of the soil through introduction of materials and compaction but it also means that there is vehicular traffic which introduced chemical, noise, smell and light pollution this cuts diagonally through the woodland causing a degree of fragmentation.

The main part of the development is within the 15m buffer, this has included scraping away of woodland soil importation of granular stone material to form the parking areas and the erection of timber structures and placement of a shipping container. This will have damaged the valuable soils and the soil fauna and some of the trees growing there, if this is not reinstated that this will permanently alter the way in which wildlife uses the woodland. More significant is the impacts associated with the use of the area. Cars and people making chemical, noise and light pollution on the edge of the Ancient Woodland but in a central location within the wider woodland will mean that more sensitive wildlife will be repelled and confined to smaller areas, this will have a negative impact upon the functioning of the habitat.

The shooting range extends perhaps 30 metres beyond the Ancient woodland buffer, the impact of this includes the distribution of poisonous lead into the woodland, the loud and noise of air guns being fired and targets being hit and the physical aspect of targets fencing and the like which have been installed within the area.

The extent of the impact has not been fully addressed in the report and mitigation and compensation have only be touched upon with regards to the avoidance of shooting wild animals and trees and the suggestion that lead pellets could be collected. Neither of these measures could be effectively enforced.

It is my assertion that harm is caused to the conservation interest of the site and so with regards to part 2 of DM13 the question is then raised about whether it can be permitted despite this. The question of 2a relates to alternative sites for the proposed development: the site is owned by the Hampden estate and they have a large amount of other land which could be more suitable, but the club needn't confine themselves to renting from only one land owner, there are likely to be many other sites owned by others where this activity would be more suited.

In relation to 2b: only a small number of the impacts could be mitigated and there will be a net loss in biodiversity as a result of this application.

In relation to 2c: it has not been demonstrated that the benefits of this development outweigh the harm.

In relation to DM13 it is clear that this application does not maximise biodiversity and in fact has detrimental impacts.

The Local policy is supported by paragraph 118 of the NPPF 'planning permission should be refused for development resulting in the loss or deterioration of irreplaceable habitats, including ancient woodland and the loss of aged or veteran trees found outside ancient woodland, unless the need for, and benefits of, the development in that location clearly outweigh the loss;'

Although the evaluation of the negative impacts has not been fully evaluated by the applicant it is clear that the development is harmful does not fit with the reasons why it should be approved anyway and so it is therefore against local and national planning policy and Natural England and Forestry Commission Standing Advice and should therefore be refused.

Arboriculture Spatial Planning

Comments: Development within a woodland. No tree detail and possible future pressures. I cannot support this application at the present time. Fence details will need to allow for wildlife movement.

Chiltern District Council

Comments: This Council has considered the above application and raises NO OBJECTION to the application subject to your authority ensuring that the proposal complies with all relevant policies contained in the adopted Development Plan and guidance contained in the National Planning Policy Framework.

County Highway Authority

Comments: Hampden Road is a C-class road subject to a 50mph speed restriction with no parking or waiting restrictions in place. The road does not benefit from pedestrian footways or street lighting.

The retrospective application proposes the change of use of the land from managed woodland to an air rifle range with erection of range compound building, siting of storage container, and toilet with associated boundary fencing and creation of a parking area for ten vehicles.

The change of use of the land to a proposed seventy member air rifle club constitutes an intensification of the existing access. The access itself cannot achieve the required visibility splay to the north of the access of one hundred and thirteen metres. However I note that the highway verge has significant vegetation limiting the available visibility. As such there is potential for additional information to overcome this objection. If the applicant can provide scale plans demonstrating visibility splays across the publically maintained highway and/or land under their control, these splays could be conditioned to be provided and maintained by the applicant.

I also note that the access does not meet the County Council's specification for commercial accesses, which is required for a development of this nature and quantum. As a result the access to the site would

be incapable of appropriately accommodating the vehicular movements associated with the development. This matter can also be conditioned to ensure that the applicant carries out the required alteration of the access. I note that these works would require a licence for working upon the publically maintained highway.

The proposed parking area has not demonstrated where within the demonstrated area ten parking spaces with 2.8 x 5 metre dimensions are available. The submitted plans also appear to demonstrate trees within the parking area which would prevent large areas within it from being used for parking provision. As such the plans lack the required demonstration of parking provision. I also note that the stated ten spaces falls short of the expected requirement of a club of seventy proposed members in a rural area with no public transport links within the vicinity of the site and no pedestrian footways.

Mindful of the above, I object to the retrospective application for the following reasons:

Reason 1: The proposed development would result in an intensification of use of an existing access at a point where visibility is substandard and would lead to danger and inconvenience to people using it and to highway users in general. The development is contrary to Policy CS20 (Transport and Infrastructure) of the Wycombe Development Framework Core Strategy (adopted July 2008).

Reason 2: The applicant has not included adequate provision for space within the site for parking and manoeuvring of vehicles clear of the highway. The development if permitted would therefore be likely to lead to additional on-street parking and to vehicles reversing onto or off of the highway to the detriment of public and highway safety. The development is contrary to Policy CS20 (Transport and Infrastructure) of the Wycombe Development Framework Core Strategy (adopted July 2008).

Representations

Great Missenden Parish Council – objection on the grounds of inappropriate development in the AONB and unauthorised removal of trees.

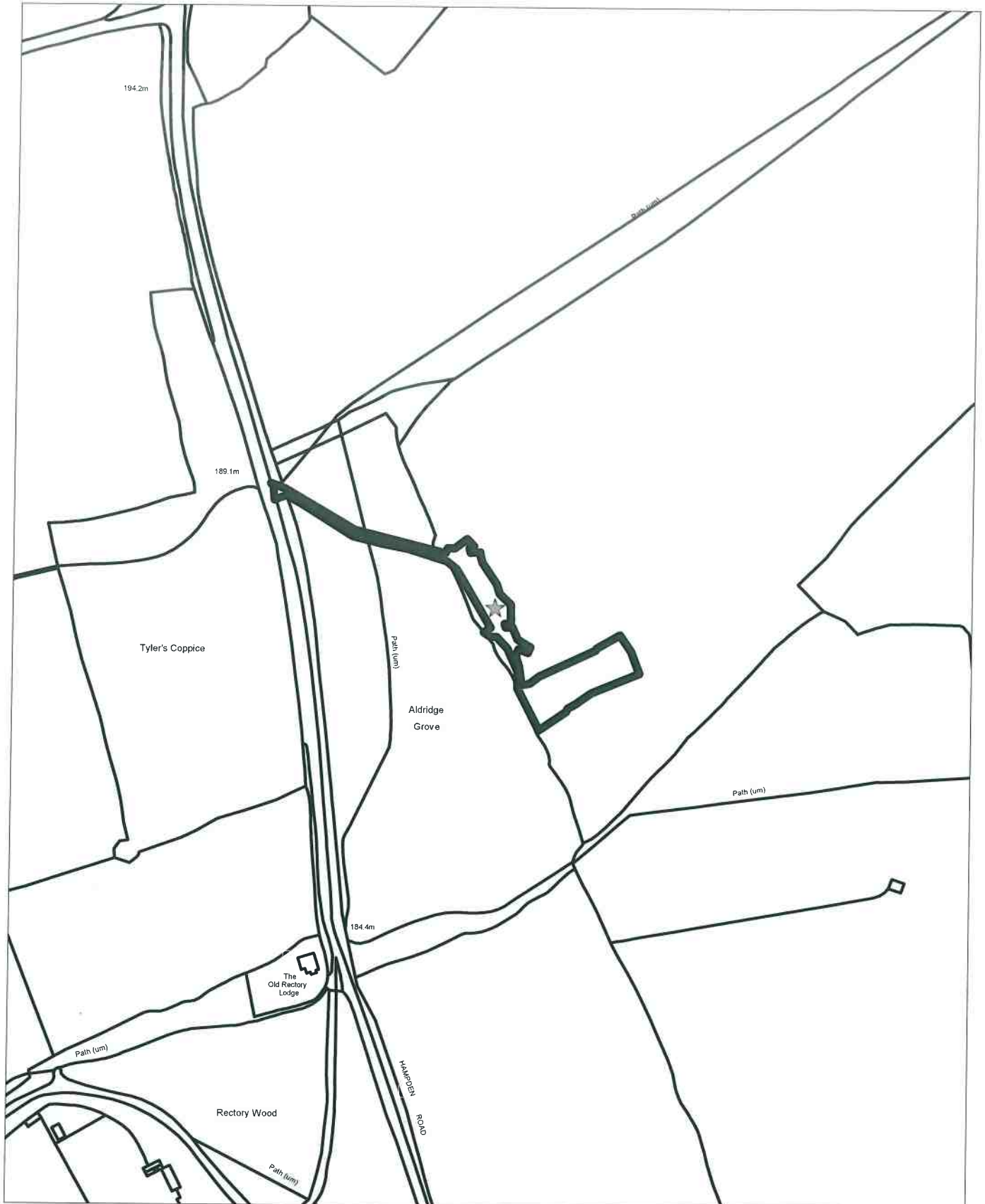
Comments have been received from 4 individuals objecting to the proposal:

- AONB decimated without planning consent
- Access was upgraded to benefit the rifle club – it would have been adequate for forestry.
- Should not be described as “continued use of land as an air rifle range” as it was not previously used for this. [Officer Note: the application is described in this way to reflect the fact the application is retrospective.]
- Air rifle club is an inappropriate use in this rural setting. Apart from tree felling for the access road, car park and range is inappropriate due to proximity to footpaths and annoyance to local residents.
- The noise is audible and annoying to those living close by.
- Likely to be protected species on site.
- Parking provided for 10 but the DAS refers to 40 attendees on Saturdays and an intention to increase membership to 50 – 70. Where will these people park? Parking on the road would be dangerous.
- Access is near a bend and has poor visibility.
- Felling of trees has influenced the local landscape.
- If permission is given the hours of use should be restricted to existing hours.
- The site and enlarged access are visible from the road and public footpaths.
- Disagree that the existing track has just been resurfaced because of the amount of trees removed.
- Destruction of ancient woodland to create the car park, club house, storage container and toilet.

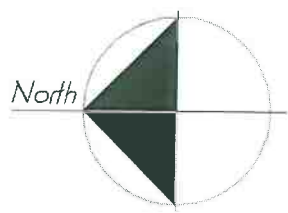
All done without planning consent.

- Concern at lack of parking will result in parking on the road or track, or further incursions into the woodland.
- Current hours are Saturdays 8.00am – 2.00pm and Wednesdays 6.00pm – 8.00pm. The applicant intends to extend this to Monday to Friday 6.00 – 8.00pm and Saturdays 8.00 – 2.00pm. Concern about how the site will be illuminated in winter.
- Although the air rifles do not cause significant noise the member do – they can be heard cheering and shouting during opening times which is not acceptable in a peaceful and tranquil setting.
- Disregard for planning rules and regulations, wildlife and conservation.
- Quiet enjoyment of neighbouring land severely affected by this commercial use.
- As an owner of adjoining land there were restrictive covenants in place restricting use for commercial activities, including clay pigeon shooting, and use of motorised vehicles. [Officer Note: restrictive covenants are a civil matter between the parties concerned and cannot be taken into account in determining planning applications.]
- Concerned about the impact on wildlife. Have noticed a change in behaviour of wildlife as a result of airgun shooting.
- Concerned about extra traffic and pollution.
- Object to weekend use as it affects recreational use of adjacent woodland.
- There are badgers in the area and red kites nesting on adjacent land.
- Sound of the shots hitting the metal targets carries to adjacent land causing disturbance
- Use destroys the ambiance of the woodland, scares wildlife (there are muntjac and roe deer, badgers, foxes, rabbits and squirrels and red kites in the woodland).

17/06820/FUL
Scale 1/2500



Rev	Date	By	Comments
A	20-07-13	ML	RED LINE TO SUIT PARKING AREA



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Client: Hampden Estate

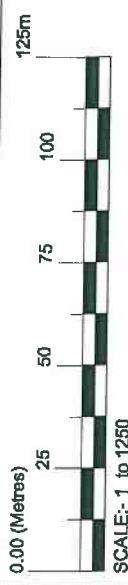
Job Title: Aldridge Grove, Hampden Road WARC

Drawing Title: Location Plan

Scale: 1:1250 Date: 13-06-17 Drawn By: ML
 Plot No: 17-058 01 Rev: A

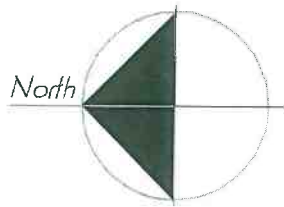


LOCATION PLAN 1:1250



Order Ref: 17-058
 We warrant that the work has been carried out in accordance with the standards of the Royal Institution of Chartered Surveyors (RICS) and the standards of practice for the work to which it relates.
 Any person who is not a member of the Institution of Chartered Surveyors (RICS) is not entitled to use the letters 'RICS Chartered Surveyors' or 'RICS' in their name or in any other way.

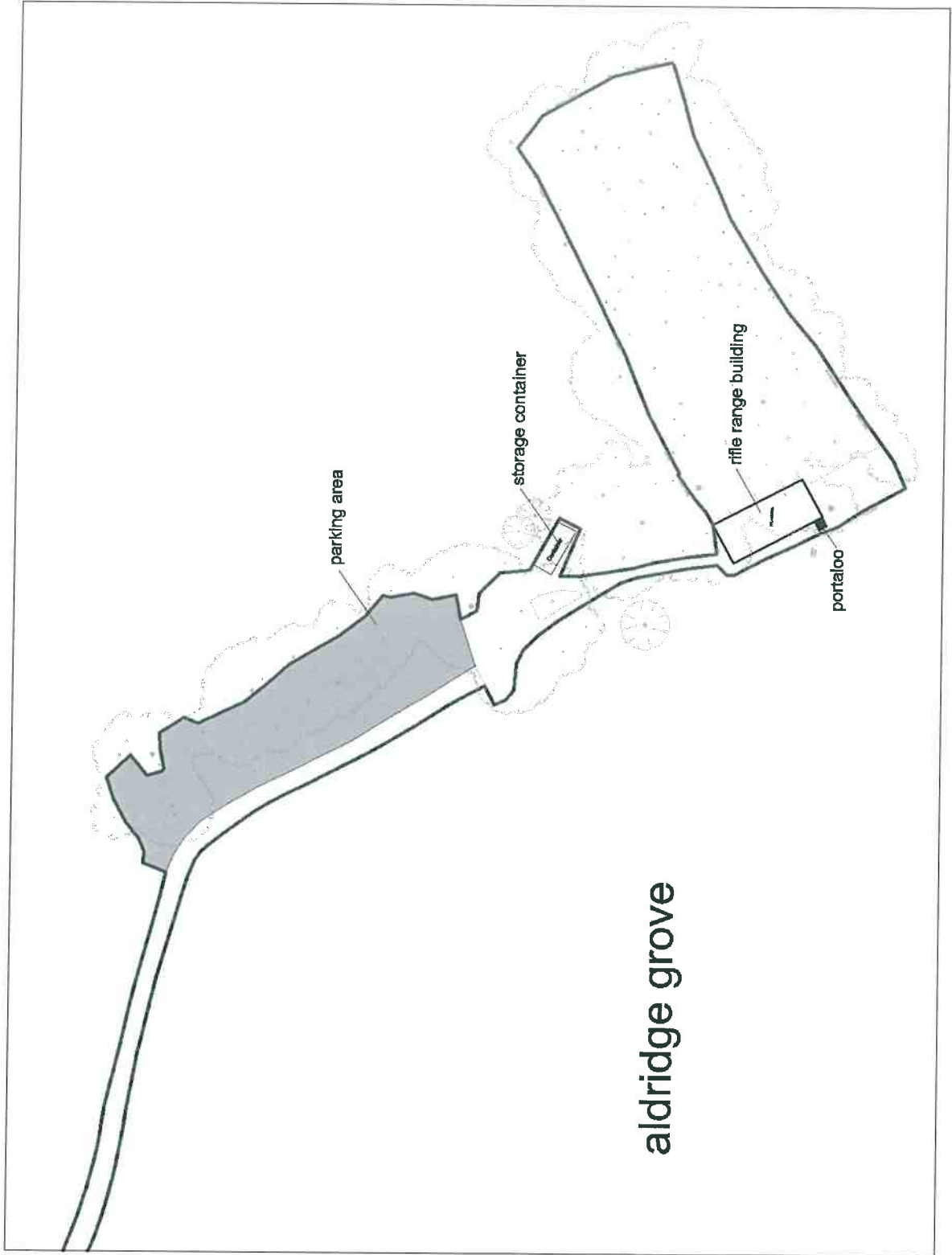
Rev	Date	By	Amendments
A	13-09-17	ML	PARKING AREA MARKED
B	13-09-17	ML	PORTALOO POSITION MARKED



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Client	Hampton Estate
Job Title	Aldridge Grove, Hampton Road WARC
Drawing Title	Site Plan
Scale	1:500
Date	13-09-17
Drawn By	ML
Checked By	ML
Plot No.	17-509
Rev.	B

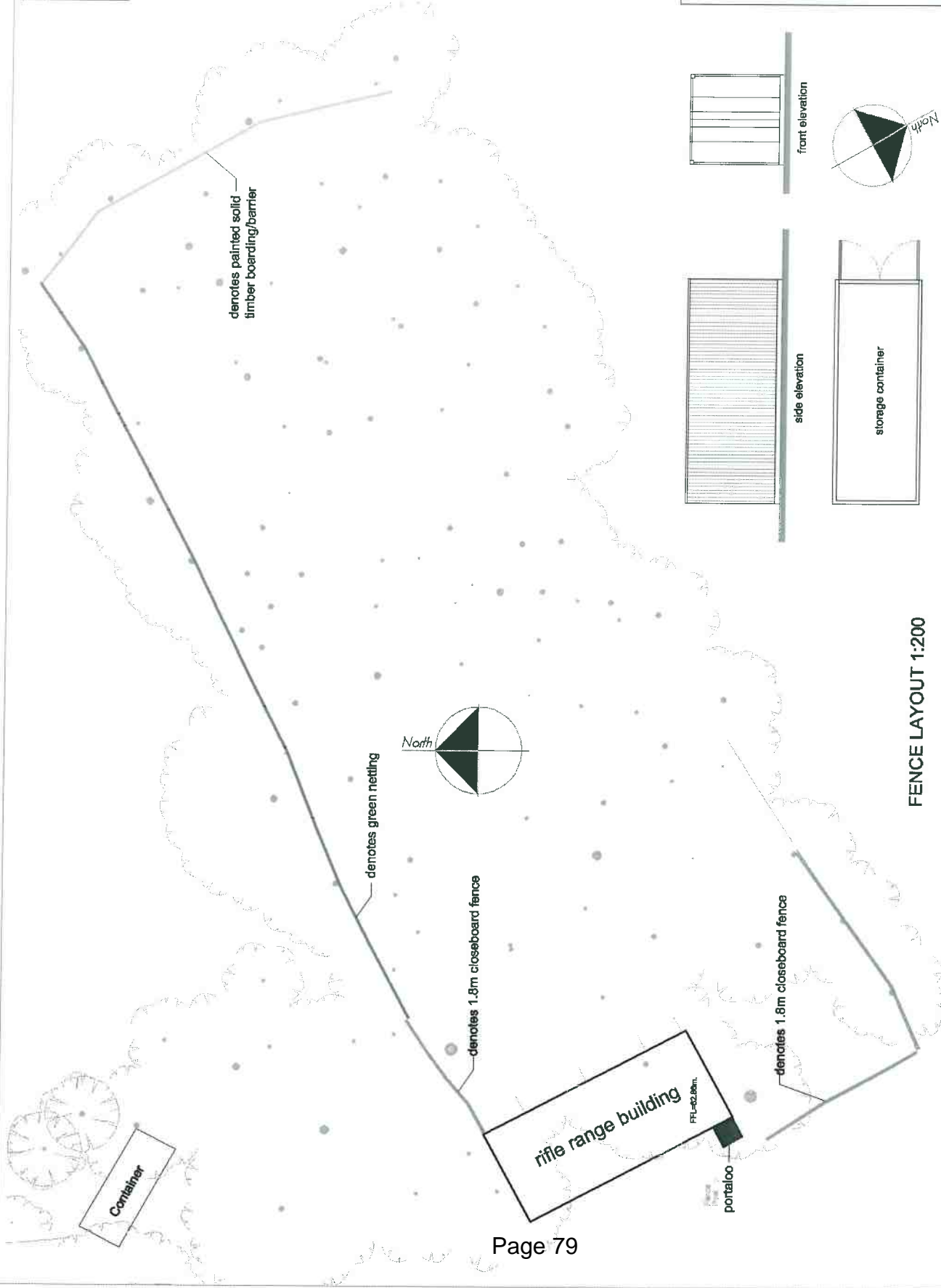


SITE PLAN 1:500



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File	Date	By	Amendments
A	08-08-17	ML	PORTALOO POSITION MARKED

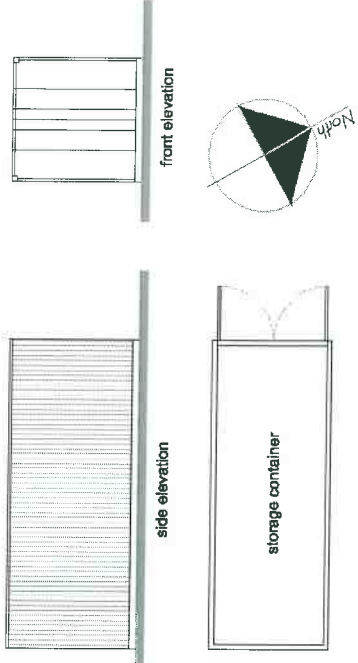


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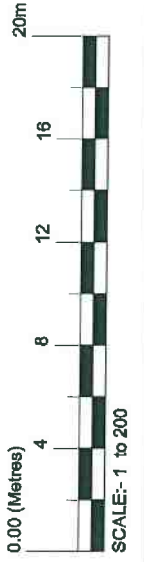
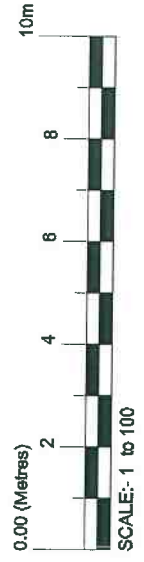
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Web: www.andreweades.co.uk

Client: Hampton Estate
Job Title: Aldridge Grove, Hampton Road, WARC
Drawing Title: Fence Layout/Container Details

Scale: 1:100/1:200 Date: 20-07-17
Drawn by: ML
Job No: 17-058 Rev: 05
Sheet: A



STORAGE CONTAINER 1:100



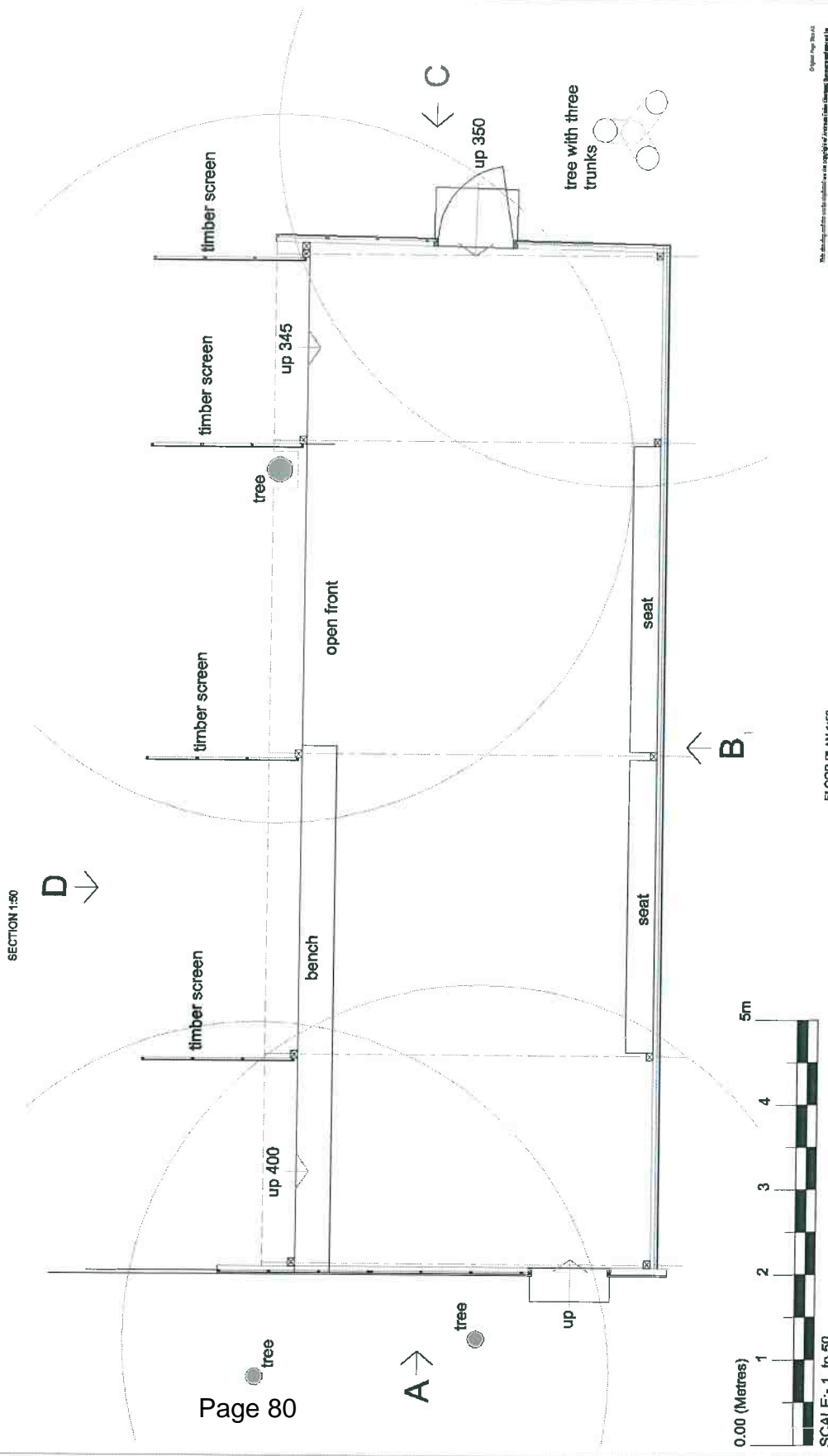
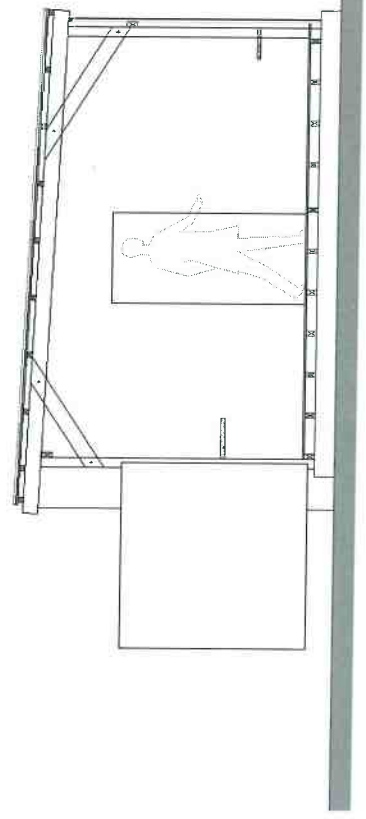
FENCE LAYOUT 1:200

Drawn: Page No: A2
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Rev	Date	By	Amendments

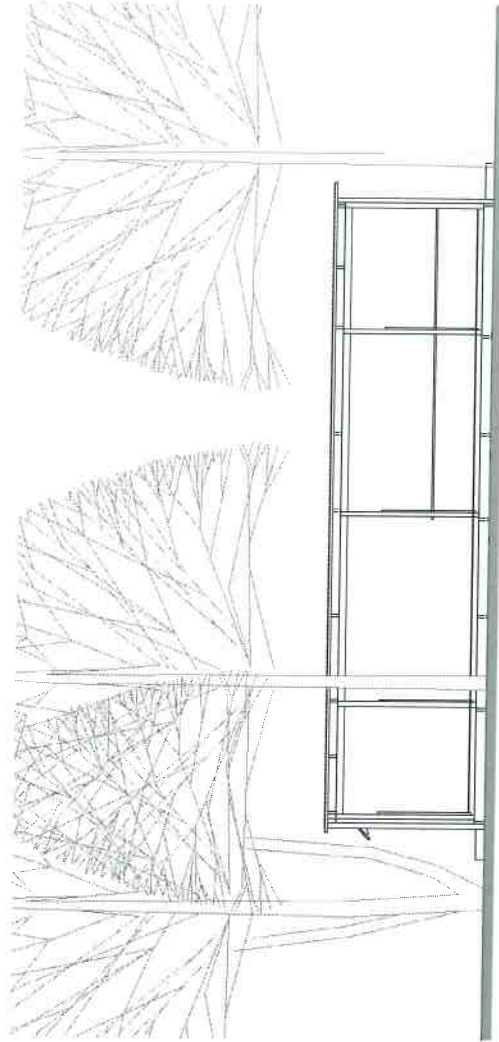
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Client: Hampden Estate
Job Title: Abridge Grove, Hampden Road, WARC
Drawing Title: Survey plan
Scale: 1:50 Date: 23.05.17
Drawn by: nm
Check by: nm
Plot No: 17-658-03

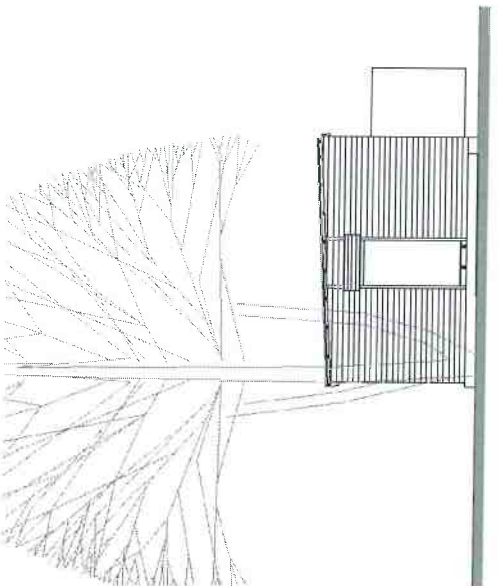


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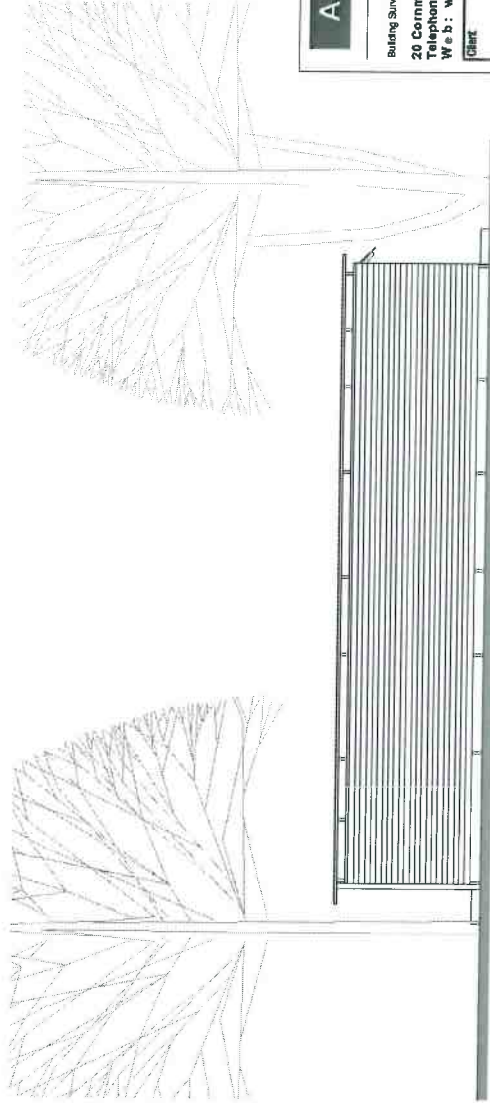
Rev	Date	By	Amendments



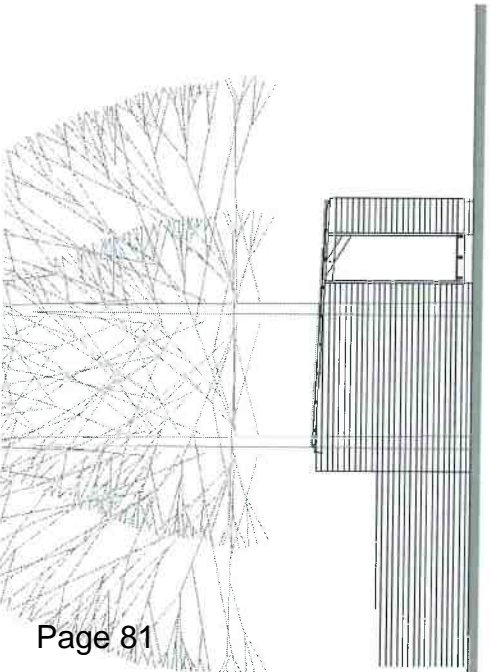
FRONT (OPEN) ELEVATION (D) 1:100



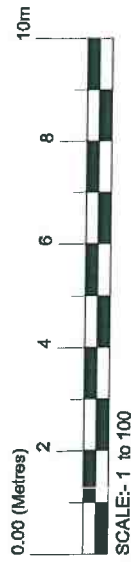
SIDE ELEVATION (D) 1:100



REAR ELEVATION (B) 1:100



SIDE ELEVATION (A) 1:100



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Web: www.andrews-eades.co.uk

Client: Hampden Estate

Job Title: Abridges Grove, Hampden Road WARC

Drawing Title: Survey plan elevations

Scale: 1:50 Date: 23.05.17 Drawn By: nfm
Disc No: 17-658-04 Rev: 1

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Agenda Item 8.

1. Pre-Planning Committee Training/ Information Sessions

Officer contact: Alastair Nicholson

DDI: 01494 421510

Email: alastair.nicholson@wycombe.gov.uk

Wards affected: All

PROPOSED DECISION OR RECOMMENDATION TO COUNCIL

1.1 The Committee note that the next pre-committee training/information session is scheduled for 6.00pm on Wednesday 18 September.

1.2 No presentations have as yet been booked. If a developer or training session comes forward members will be updated, otherwise it is proposed to begin the Planning Committee meeting at 6.30.

Corporate Implications

1.3 Members of both the Planning Committee, and the Regulatory and Appeals Committee, are required to complete a minimum level of planning training each year.

Sustainable Community Strategy/Council Priorities - Implications

1.4 None directly.

Background and Issues

1.5 The pre Planning Committee meeting gives an opportunity for member training or developer presentations.

Options

1.6 None.

Conclusions

1.7 Members note the recommendation.

Next Steps

1.8 None.

Background Papers: None.

Agenda Item 11.

For Information: Delegated Action authorised by Planning Enforcement Team

Between 09/07/2019-05/08/2019

Reference	Address	Breach	Date Authorised	Type of notice
18/00113/OP	The Hedgerow Parkwood Walters Ash Buckinghamshire HP14 4XQ	Breach of injunction relating to laying of hardstanding	24-Jul-19	Not in the Public Interest to pursue further action
19/00167/CU	128 Heath End Road Flackwell Heath Buckinghamshire HP10 9EW	Alleged replacement of touring caravan with a static caravan, in breach of planning permission 15/06045/VCDN	05-Aug-19	Planning Contravention Notice
19/00074/OP	16 Sedgmoor Close Flackwell Heath Buckinghamshire HP10 9BH	Without planning permission, the erection of a flue	24-Jul-19	No Material Harm
19/00058/OP	26 Barnhill Gardens Marlow Buckinghamshire SL7 3HB	Without planning permission, the infilling of car port	24-Jul-19	No Material Harm
18/00026/CU	44 Green Street High Wycombe Buckinghamshire HP11 2RA	Without planning permission, subdivision of property to form 2 x self-contained units	24-Jul-19	No Material Harm
18/00391/OP	45 Cumbrian Way High Wycombe Buckinghamshire HP13 5RZ	Without planning permission, engineering works to rear and erection of boundary fence	24-Jul-19	No Material Harm
19/00218/OP	66 The Parade Bourne End Buckinghamshire SL8 5SS	Alleged breach of condition on planning permission 12/07134/FUL	24-Jul-19	Planning Contravention Notice
19/00153/OP	92 Easton Street High Wycombe Buckinghamshire HP11 1LT	Without planning permission, the installation of three UPVC windows in the first floor front elevation of the building	24-Jul-19	Enforcement Notice

19/00080/CU	Ilmer Meadow Ilmer Lane Ilmer Buckinghamshire HP27 9RD	Alleged material change of use of land to residential and commercial units	02-Aug-19	Planning Contravention Notice
19/00159/PR	25 Chapel Street Marlow Buckinghamshire SL7 3HN	Illegal lopping of tree within conservation area	11-Jul-19	Not in the Public Interest to pursue further action